

ATTACHMENT C
CONDITIONS
MARCH 31, 2023

1701 San Pablo Avenue

SB 35 Zoning Certificate (#PLN2022-0119)

Application to demolish a BUSD parking lot, establish lease lot boundaries, and construct a six-story, 110-unit, State Density Bonus, 73% affordable educator housing project – 12 units affordable to Extremely Low Income households (11%), 20 units affordable to Very Low Income households (18%), and 48 units affordable to Low Income households (44%) – with 55 parking spaces.

1. Conditions Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions.' *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. Compliance Required (BMC Section 23.102.050)

All land uses and structures in Berkeley must comply with the Zoning Ordinance and all applicable City ordinances and regulations. Compliance with the Zoning Ordinance does not relieve an applicant from requirements to comply with other federal, state, and City regulations that also apply to the property.

3. Approval Limited to Proposed Project and Replacement of Existing Uses (BMC Sections 23.404.060.B.1 and 2)

- A. This Permit authorizes only the proposed project described in the application. In no way does an approval authorize other uses, structures or activities not included in the project description.
- B. When the City approves a new use that replaces an existing use, any prior approval of the existing use becomes null and void when permits for the new use are exercised (e.g., building permit or business license issued). To reestablish the previously existing use, an applicant must obtain all permits required by the Zoning Ordinance for the use.

4. Conformance to Approved Plans (BMC Section 23.404.060.B.4)

All work performed under an approved permit shall be in compliance with the approved plans and any conditions of approval.

5. Exercise and Expiration of Permits (BMC Section 23.404.060.C)

- A. A permit authorizing a land use is exercised when both a valid City business license is issued (if required) and the land use is established on the property.
- B. A permit authorizing construction is exercised when both a valid City building permit (if required) is issued and construction has lawfully begun.
- C. The Zoning Officer may declare a permit lapsed if it is not exercised within one year of its issuance, except if the applicant has applied for a building permit or has made a substantial

good faith effort to obtain a building permit and begin construction. The Zoning Officer may declare a permit lapsed only after 14 days written notice to the applicant. A determination that a permit has lapsed may be appealed to the ZAB in accordance with Chapter 23.410 (Appeals and Certification).

- D. A permit declared lapsed shall be void and of no further force and effect. To establish the use or structure authorized by the lapsed permit, an applicant must apply for and receive City approval of a new permit.

6. Permit Remains Effective for Vacant Property (BMC Section 23.404.060.D)

Once a Permit for a use is exercised and the use is established, the permit authorizing the use remains effective even if the property becomes vacant. The same use as allowed by the original permit may be re-established without obtaining a new permit, except as set forth in Standard Condition #5 above.

7. Permit Modifications (BMC Section 23.404.070)

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Board. The Zoning Officer may approve changes to plans approved by the Board, consistent with the Board's policy adopted on May 24, 1978, which reduce the size of the project.

8. Permit Revocation (BMC Section 23.404.080)

The City may revoke or modify a discretionary permit for completed projects due to: 1) violations of permit requirements; 2) Changes to the approved project; and/or 3) Vacancy for one year or more. However, no lawful residential use can lapse, regardless of the length of time of the vacancy. Proceedings to revoke or modify a permit may be initiated by the Zoning Officer, Zoning Adjustments Board (ZAB), or City Council referral.

9. Pay Transparency Acknowledgement (BMC Section 13.104.030)

Prior to the issuance of a building permit for any Project subject to this Chapter:

- A. A Responsible Representative of the Permittee shall certify under penalty of perjury that: (1) the Permittee has reviewed Chapter 13.104 of the Berkeley Municipal Code; and (2) the Permittee will be responsible for demonstrating compliance with this Chapter.
- B. The Permittee shall provide to the City a Contractor Pay Transparency Acknowledgment on a form approved by the City for this purpose. A Responsible Representative of the Permittee shall certify under penalty of perjury that the Contractor and all Qualifying Subcontractors performing work on the Project will comply with Chapter 13.104 of the Berkeley Municipal Code and with Labor Code sections 226(a) and 2810.5 for each employee who works on the Project.

10. Pay Transparency Attestations Following Project Completion (BMC Section 13.104.040)

Within 10 days of the approved final inspection of any Project subject to this Chapter, each Permittee shall provide to the City for each Contractor and Qualifying Subcontractor a Pay Transparency Attestation on a form approved by the City. On each Pay Transparency Attestation, a Responsible Representative of the Contractor or Qualifying Subcontractor shall attest under penalty of perjury that the Contractor or Qualifying Subcontractor complied with Chapter 13.104 of the Berkeley Municipal Code and Labor Code sections 226(a) and 2810.5 for each employee who performed work on the Project. The City will maintain Pay Transparency Attestation forms for period of at least three years after their date of receipt by the City.

11. Posting of Ordinance (BMC Section 13.104.050)

Each day work is performed on the Project, each Permittee shall post, and keep posted in a conspicuous location where it may be easily read by employees during the hours of the workday, a notice that: (A) contains the text of Chapter 13.104 of the Berkeley Municipal Code; (B) explains that workers can report violations of Labor Code sections 226 and 2810.5 to the Labor Commissioner of the State of California; and (C) provides current contact information, including office address, telephone number, and email address of the Labor Commissioner of the State of California.

12. Conditions of Approval (BMC Section 13.104.060)

The requirements of Sections 13.104.030 through 13.104.050 shall be included as conditions of approval of any Use Permit or Zoning Certificate for any Project that is subject to this Chapter. Failure to comply with the requirements of any provision of this Chapter shall be grounds for issuance of an administrative citation under Chapter 1.28 and/or the revocation or modification of any Use Permit issued for the Project under Chapter 23B.60.

13. Indemnification Agreement

The applicant shall hold harmless, defend, and indemnify the City of Berkeley and its officers, agents, and employees against any and all liability, damages, claims, demands, judgments or other losses (including without limitation, attorney’s fees, expert witness and consultant fees and other litigation expenses), referendum or initiative relating to, resulting from or caused by, or alleged to have resulted from, or caused by, any action or approval associated with the project. The indemnity includes without limitation, any legal or administrative challenge, referendum or initiative filed or prosecuted to overturn, set aside, stay or otherwise rescind any or all approvals granted in connection with the Project, any environmental determination made for the project and granting any permit issued in accordance with the project. This indemnity includes, without limitation, payment of all direct and indirect costs associated with any action specified herein. Direct and indirect costs shall include, without limitation, any attorney’s fees, expert witness and consultant fees, court costs, and other litigation fees. City shall have the right to select counsel to represent the City at Applicant’s expense in the defense of any action specified in this condition of approval. City shall take reasonable steps to promptly notify the Applicant of any claim, demand, or legal actions that may create a claim for indemnification under these conditions of approval.

Prior to Submittal of Any Building Permit:

14. Project Liaison. The applicant shall include in all building permit plans and post onsite the name and telephone number of an individual empowered to manage construction-related complaints generated from the project. The individual’s name, telephone number, and responsibility for the project shall be posted at the project site for the duration of the project in a location easily visible to the public. The individual shall record all complaints received and actions taken in response, and submit written reports of such complaints and actions to the project planner on a weekly basis. **Please designate the name of this individual below:**

Project Liaison _____
Name Phone #

15. Address Assignment. The applicant shall file an “Address Assignment Request Application” with the Permit Service Center (1947 Center Street) for any address change or new address associated with this Use Permit. The new address(es) shall be assigned and entered into the City’s database prior to the applicant’s submittal of a building permit application.
16. Construction Noise Reduction Program. The applicant shall develop a site specific noise reduction program prepared by a qualified acoustical consultant to reduce construction noise impacts to the maximum extent feasible, subject to review and approval of the Zoning Officer. The noise reduction program shall include the time limits for construction listed above, as measures needed to ensure that construction complies with BMC Section 13.40.070. The noise reduction program should include, but shall not be limited to, the following available controls to reduce construction noise levels as low as practical:
 - A. Construction equipment should be well maintained and used judiciously to be as quiet as practical.
 - B. Equip all internal combustion engine-driven equipment with mufflers, which are in good condition and appropriate for the equipment.
 - C. Utilize “quiet” models of air compressors and other stationary noise sources where technology exists. Select hydraulically or electrically powered equipment and avoid pneumatically powered equipment where feasible.
 - D. Locate stationary noise-generating equipment as far as possible from sensitive receptors when adjoining construction sites. Construct temporary noise barriers or partial enclosures to acoustically shield such equipment where feasible.
 - E. Prohibit unnecessary idling of internal combustion engines.
 - F. If impact pile driving is required, pre-drill foundation pile holes to minimize the number of impacts required to seat the pile.
 - G. Construct solid plywood fences around construction sites adjacent to operational business, residences or other noise-sensitive land uses where the noise control plan analysis determines that a barrier would be effective at reducing noise.
 - H. Erect temporary noise control blanket barriers, if necessary, along building facades facing construction sites. This mitigation would only be necessary if conflicts occurred which were irresolvable by proper scheduling. Noise control blanket barriers can be rented and quickly erected.
 - I. Route construction related traffic along major roadways and away from sensitive receptors where feasible.
17. Damage Due to Construction Vibration. The project applicant shall submit screening level analysis prior to, or concurrent with demolition building permit. If a screening level analysis shows that the project has the potential to result in damage to structures, a structural engineer or other appropriate professional shall be retained to prepare a vibration impact assessment (assessment). The assessment shall take into account project specific information such as the composition of the structures, location of the various types of equipment used during each phase of the project, as well as the soil characteristics in the project area, in order to determine whether project construction may cause damage to any of the structures identified as potentially impacted in the screening level analysis. If the assessment finds that the project may cause damage to nearby structures, the structural engineer or other appropriate professional shall recommend design means and methods of construction that to avoid the potential damage, if feasible. The assessment and its recommendations shall be reviewed and approved by the Building and Safety Division and the Zoning Officer. If there are no feasible design means or methods to eliminate the potential for damage, the structural engineer or other appropriate professional shall

undertake an existing conditions study (study) of any structures (or, in case of large buildings, of the portions of the structures) that may experience damage. This study shall

- establish the baseline condition of these structures, including, but not limited to, the location and extent of any visible cracks or spalls; and
- include written descriptions and photographs.

The study shall be reviewed and approved by the Building and Safety Division and the Zoning Officer prior to issuance of a grading permit. Upon completion of the project, the structures (or, in case of large buildings, of the portions of the structures) previously inspected will be resurveyed, and any new cracks or other changes shall be compared to pre-construction conditions and a determination shall be made as to whether the proposed project caused the damage. The findings shall be submitted to the Building and Safety Division and the Zoning Officer for review. If it is determined that project construction has resulted in damage to the structure, the damage shall be repaired to the pre-existing condition by the project sponsor, provided that the property owner approves of the repair.

Prior to Issuance of Any Building & Safety Permit (Demolition or Construction)

- 18. Construction Noise Management - Public Notice Required.** At least two weeks prior to initiating any construction activities at the site, the applicant shall provide notice to businesses and residents within **500 feet** of the project site. This notice shall at a minimum provide the following: (1) project description, (2) description of construction activities during extended work hours and reason for extended hours, (3) daily construction schedule (i.e., time of day) and expected duration (number of months), (4) the name and phone number of the Project Liaison for the project that is responsible for responding to any local complaints, and (5) that construction work is about to commence. The liaison would determine the cause of all construction-related complaints (e.g., starting too early, bad muffler, worker parking, etc.) and institute reasonable measures to correct the problem. A copy of such notice and methodology for distributing the notice shall be provided in advance to the City for review and approval.
- 19. Construction Phases.** The applicant shall provide the Zoning Officer with a schedule of major construction phases with start dates and expected duration, a description of the activities and anticipated noise levels of each phase, and the name(s) and phone number(s) of the individual(s) directly supervising each phase. The Zoning Officer or his/her designee shall have the authority to require an on-site meeting with these individuals as necessary to ensure compliance with these conditions. The applicant shall notify the Zoning Officer of any changes to this schedule as soon as possible.
- 20. Demolition.** Demolition of the existing building cannot commence until a complete application is submitted for the replacement building. In addition, all plans presented to the City to obtain a permit to allow the demolition are subject to these conditions.
- 21. Construction and Demolition Diversion.** Applicant shall submit a [Construction Waste Management Plan](#) that meets the requirements of BMC Chapter 19.37 including 100% diversion of asphalt, concrete, excavated soil and land-clearing debris and a minimum of 65% diversion of other nonhazardous construction and demolition waste.

- 22. Toxics.** The applicant shall contact the Toxics Management Division (TMD) at 1947 Center Street or (510) 981-7470 to determine which of the following documents are required and timing for their submittal:
- A. Environmental Site Assessments:
- 1) Phase I & Phase II Environmental Site Assessments (latest ASTM 1527-13). A recent Phase I ESA (less than 2 years old*) shall be submitted to TMD for developments for:
 - All new commercial, industrial and mixed use developments and all large improvement projects.
 - All new residential buildings with 5 or more dwelling units located in the Environmental Management Area (or EMA).
 - EMA is available online at: [http://www.cityofberkeley.info/uploadedFiles/IT/Level 3 - General/ema.pdf](http://www.cityofberkeley.info/uploadedFiles/IT/Level_3_-_General/ema.pdf)
 - 2) Phase II ESA is required to evaluate Recognized Environmental Conditions (REC) identified in the Phase I or other RECs identified by TMD staff. The TMD may require a third party toxicologist to review human or ecological health risks that may be identified. The applicant may apply to the appropriate state, regional or county cleanup agency to evaluate the risks.
 - 3) If the Phase I is over 2 years old, it will require a new site reconnaissance and interviews. If the facility was subject to regulation under Title 15 of the Berkeley Municipal Code since the last Phase I was conducted, a new records review must be performed.
- B. Soil and Groundwater Management Plan:
- 1) A Soil and Groundwater Management Plan (SGMP) shall be submitted to TMD for all non-residential projects, and residential or mixed-use projects with five or more dwelling units, that: (1) are in the Environmental Management Area (EMA) and (2) propose any excavations deeper than 5 feet below grade. The SGMP shall be site specific and identify procedures for soil and groundwater management including identification of pollutants and disposal methods. The SGMP will identify permits required and comply with all applicable local, state and regional requirements.
 - 2) The SGMP shall require notification to TMD of any hazardous materials found in soils and groundwater during development. The SGMP will provide guidance on managing odors during excavation. The SGMP will provide the name and phone number of the individual responsible for implementing the SGMP and post the name and phone number for the person responding to community questions and complaints.
 - 3) TMD may impose additional conditions as deemed necessary. All requirements of the approved SGMP shall be deemed conditions of approval of this Use Permit.
- C. Building Materials Survey:
- 1) Prior to approving any permit for partial or complete demolition and renovation activities involving the removal of 20 square or lineal feet of interior or exterior walls, a building materials survey shall be conducted by a qualified professional. The survey shall include, but not be limited to, identification of any lead-based paint, asbestos, polychlorinated biphenyl (PBC) containing equipment, hydraulic fluids in elevators or lifts, refrigeration systems, treated wood and mercury containing devices (including fluorescent light bulbs and mercury switches). The Survey shall include plans on hazardous waste or hazardous materials removal, reuse or disposal procedures to be implemented that fully comply state hazardous waste generator requirements (22 California Code of Regulations 66260 et seq). The Survey becomes a condition of any building or demolition permit for the project. Documentation evidencing disposal of hazardous waste in compliance with the survey

shall be submitted to TMD within 30 days of the completion of the demolition. If asbestos is identified, Bay Area Air Quality Management District Regulation 11-2-401.3 a notification must be made and the J number must be made available to the City of Berkeley Permit Service Center.

D. Hazardous Materials Business Plan:

- 1) A Hazardous Materials Business Plan (HMBP) in compliance with BMC Section 15.12.040 shall be submitted electronically at <http://cers.calepa.ca.gov/> within 30 days if on-site hazardous materials exceed BMC 15.20.040. HMBP requirement can be found at <http://ci.berkeley.ca.us/hmr/>

Prior to Issuance of Any Building (Construction) Permit

23. Affordable Housing Mitigation Fee: Consistent with BMC §22.20.065, and fee resolution applicable to this project, the applicant shall provide a schedule, consistent with a schedule approved by the City Manager or her designee, outlining the timeframe for payment of the AHMF, and they shall pay this fee
24. HVAC Noise Reduction. Prior to the issuance of building permits, the project applicant shall submit plans that show the location, type, and design of proposed heating, ventilation, and cooling (HVAC) equipment. In addition, the applicant shall provide product specification sheets or a report from a qualified acoustical consultant showing that operation of the proposed HVAC equipment will meet the City's exterior noise requirements in BMC Section 13.40.050. The City's Planning and Development Department shall review the submitted plans, including the selected HVAC equipment, to verify compliance with exterior noise standards.
25. Interior Noise Levels. Prior to issuance of a building permit, the applicant shall submit a report to the Building and Safety Division and the Zoning Officer by a qualified acoustic engineer certifying that the interior residential portions of the project will achieve interior noise levels of no more than 45 Ldn (Average Day-Night Levels). If the adopted Building Code imposes a more restrictive standard for interior noise levels, the report shall certify compliance with this standard.
26. Solar Photovoltaic (Solar PV). A solar PV system, on the solar zone specified in Section 110.10 of the 2019 Energy Code, shall be installed (subject to the exceptions in Section 110.10) as specified by the Berkeley Energy Code (BMC Chapter 19.36). Location of the solar PV system shall be noted on the construction plans.
27. Electric Vehicle (EV) Charging. At least 20% of the project parking spaces for residential parking shall be "EV Charger Ready": equipped with raceway, wiring, and power to allow for future Level 2 (240 Volt/40 amp) plug-in electric vehicle (EV) charging system installation, and at least 80% of the project parking spaces for residential parking shall be "EV Spaces Raceway Equipped": equipped with a raceway between an enclosed, inaccessible, or concealed area and an electrical service panel/subpanel as specified by the Berkeley Green Code (BMC Section 19.37.040). Any Level 2 EV charging systems installed at parking spaces will be counted toward the applicable readiness requirement. Readiness for EV charging and EV charging station installations shall be noted on the construction plans.
28. Water Efficient Landscaping. Landscaping, totaling 500 square feet of more of new landscaping or 2,500 square feet or more of renovated irrigated area, shall comply with the State's Model Water Efficient Landscape Ordinance (MWELo). MWELo-compliant landscape documentation including a planting, grading, and irrigation plan shall be included in site plans. Water budget

calculations are also required for landscapes of 2,500 square feet or more and shall be included in site plans. The reference evapotranspiration rate (ET_o) for Berkeley is 41.8.

29. Prohibition of Natural Gas Infrastructure in New Buildings. The project shall comply with the City of Berkeley Prohibition of Natural Gas Infrastructure in New Buildings (BMC Chapter 12.80).
30. Recycling and Organics Collection. Applicant shall provide recycling and organics collection areas for occupants, clearly marked on site plans, which comply with the Alameda County Mandatory Recycling Ordinance (ACWMA Ordinance 2012-01).
31. Public Works ADA. Plans submitted for building permit shall include replacement of sidewalk, curb, gutter, and other streetscape improvements, as necessary to comply with current City of Berkeley standards for accessibility.
32. Required Parking Spaces for Persons with Disabilities. Per BMC Section 23.322.040.H of the Zoning Ordinance, “If the number of required off-street parking spaces in a non-residential district is reduced as allowed by this chapter, the number of required parking spaces for persons with disabilities shall be calculated as if there had been no reduction in required spaces.”

Prior to Demolition or Start of Construction:

33. Construction Meeting. The applicant shall request of the Zoning Officer an on-site meeting with City staff and key parties involved in the early phases of construction (e.g., applicant, general contractor, foundation subcontractors) to review these conditions and the construction schedule. The general contractor or applicant shall ensure that all subcontractors involved in subsequent phases of construction aware of the conditions of approval.

During Construction:

34. Construction Hours. Construction activity shall be limited to between the hours of 8:00 AM and 6:00 PM on Monday through Friday, and between 9:00 AM and Noon on Saturday. No construction-related activity shall occur on Sunday or any Federal Holiday.
35. Construction Hours- Exceptions. It is recognized that certain construction activities, such as the placement of concrete, must be performed in a continuous manner and may require an extension of these work hours. Prior to initiating any activity that might require a longer period, the developer must notify the Zoning Officer and request an exception for a finite period of time. If the Zoning Officer approves the request, then two weeks prior to the expanded schedule, the developer shall notify businesses and residents within 500 feet of the project site describing the expanded construction hours. A copy of such notice and methodology for distributing the notice shall be provided in advance to the City for review and approval. The project shall not be allowed more than 15 extended working days.
36. Project Construction Website. The applicant shall establish a project construction website with the following information clearly accessible and updated monthly or more frequently as changes warrant:
 - Contact information (i.e. “hotline” phone number, and email address) for the project construction manager
 - Calendar and schedule of daily/weekly/monthly construction activities

- The final Conditions of Approval, Mitigation Monitoring and Reporting Program, Transportation Construction Plan, Construction Noise Reduction Program, and any other reports or programs related to construction noise, air quality, and traffic.
- 37. Public Works - Implement BAAQMD-Recommended Measures during Construction.** For all proposed projects, BAAQMD recommends implementing all the Basic Construction Mitigation Measures, listed below to meet the best management practices threshold for fugitive dust:
- A. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
 - B. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
 - C. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
 - D. All vehicle speeds on unpaved roads shall be limited to 15 mph.
 - E. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
 - F. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
 - G. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator.
 - H. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
- 38. Air Quality - Diesel Particulate Matter Controls during Construction.** All off-road construction equipment used for projects with construction lasting more than 2 months shall comply with **one** of the following measures:
- A. The project applicant shall prepare a health risk assessment that demonstrates the project's on-site emissions of diesel particulate matter during construction will not exceed health risk screening criteria after a screening-level health risk assessment is conducted in accordance with current guidance from BAAQMD and OEHHA. The health risk assessment shall be submitted to the Land Use Planning Division for review and approval prior to the issuance of building permits; or
 - B. All construction equipment shall be equipped with Tier 2 or higher engines and the most effective Verified Diesel Emission Control Strategies (VDECS) available for the engine type (Tier 4 engines automatically meet this requirement) as certified by the California Air Resources Board (CARB). The equipment shall be properly maintained and tuned in accordance with manufacturer specifications.

In addition, a Construction Emissions Minimization Plan (Emissions Plan) shall be prepared that includes the following:

- An equipment inventory summarizing the type of off-road equipment required for each phase of construction, including the equipment manufacturer, equipment identification number, engine model year, engine certification (tier rating), horsepower, and engine serial number.

For all VDECS, the equipment inventory shall also include the technology type, serial number, make, model, manufacturer, CARB verification number level, and installation date.

- A Certification Statement that the Contractor agrees to comply fully with the Emissions Plan and acknowledges that a significant violation of the Emissions Plan shall constitute a material breach of contract. The Emissions Plan shall be submitted to the Public Works Department for review and approval prior to the issuance of building permits.
- 39. Public Works - Construction.** Construction must comply with the State-wide general permit requiring owner to (1) notify the State; (2) prepare and implement a Stormwater Pollution Prevention Plan (SWPPP); and (3) monitor the effectiveness of the plan. Additional information may be found online at <http://www.swrcb.ca.gov>. As part of the permit submittal, the Public Works Department will need a) a copy of the “Notice of Intent” filed with the State Water Resources Control Board (SWRCB)/Division of Water Quality; b) the Waste Discharger Identification (WDID) number issued by the SWRCB for the project; c) a copy of the SWPPP prepared for each phase of the project; and d) the name of the individual who will be responsible for monitoring the site for compliance to the approved SWPPP. (Project site: 1.053 acres)
- 40. Construction and Demolition Diversion.** Divert debris according to your plan and collect required documentation. Get construction debris receipts from sorting facilities in order to verify diversion requirements. Upload recycling and disposal receipts if using [Green Halo](#) and submit online for City review and approval prior to final inspection. Alternatively, complete the second page of the original [Construction Waste Management Plan](#) and present it, along with your construction debris receipts, to the Building Inspector by the final inspection to demonstrate diversion rate compliance. The Zoning Officer may request summary reports at more frequent intervals, as necessary to ensure compliance with this requirement.
- 41. Low-Carbon Concrete.** The project shall maintain compliance with the Berkeley Green Code (BMC Chapter 19.37) including use of concrete mix design with a cement reduction of at least 25%. Documentation on concrete mix design shall be available at all times at the construction site for review by City Staff.
- 42. Transportation Construction Plan.** The applicant and all persons associated with the project are hereby notified that a Transportation Construction Plan (TCP) is required for all phases of construction, particularly for the following activities:
- Alterations, closures, or blockages to sidewalks, pedestrian paths or vehicle travel lanes (including bicycle lanes);
 - Storage of building materials, dumpsters, debris anywhere in the public ROW;
 - Provision of exclusive contractor parking on-street; or
 - Significant truck activity.

The applicant shall secure the City Traffic Engineer’s approval of a TCP. Please contact the Office of Transportation at 981-7010, or 1947 Center Street, and ask to speak to a traffic engineer. In addition to other requirements of the Traffic Engineer, this plan shall include the locations of material and equipment storage, trailers, worker parking, a schedule of site operations that may block traffic, and provisions for traffic control. The TCP shall be consistent with any other requirements of the construction phase.

Contact the Permit Service Center (PSC) at 1947 Center Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Please note that the Zoning Officer and/or Traffic Engineer may limit off-site parking of construction-related vehicles if necessary to protect the health, safety or convenience of the surrounding neighborhood. A current copy of this Plan shall be available at all times at the construction site for review by City Staff.

- 43.** Avoid Disturbance of Nesting Birds. Initial site disturbance activities, including vegetation and concrete removal, shall be prohibited during the general avian nesting season (February 1 to August 30), if feasible. If nesting season avoidance is not feasible, the applicant shall retain a qualified biologist to conduct a preconstruction nesting bird survey to determine the presence/absence, location, and activity status of any active nests on or adjacent to the project site. The extent of the survey buffer area surrounding the site shall be established by the qualified biologist to ensure that direct and indirect effects to nesting birds are avoided. To avoid the destruction of active nests and to protect the reproductive success of birds protected by the MBTA and CFGC, nesting bird surveys shall be performed not more than 14 days prior to scheduled vegetation and concrete removal. In the event that active nests are discovered, a suitable buffer (typically a minimum buffer of 50 feet for passerines and a minimum buffer of 250 feet for raptors) shall be established around such active nests and no construction shall be allowed inside the buffer areas until a qualified biologist has determined that the nest is no longer active (e.g., the nestlings have fledged and are no longer reliant on the nest). No ground-disturbing activities shall occur within this buffer until the qualified biologist has confirmed that breeding/nesting is completed and the young have fledged the nest. Nesting bird surveys are not required for construction activities occurring between August 31 and January 31.
- 44.** Archaeological Resources (Ongoing throughout demolition, grading, and/or construction). Pursuant to CEQA Guidelines section 15064.5(f), “provisions for historical or unique archaeological resources accidentally discovered during construction” should be instituted. Therefore:
- A. In the event that any prehistoric or historic subsurface cultural resources are discovered during ground disturbing activities, all work within 50 feet of the resources shall be halted and the project applicant and/or lead agency shall consult with a qualified archaeologist, historian or paleontologist to assess the significance of the find.
 - B. If any find is determined to be significant, representatives of the project proponent and/or lead agency and the qualified professional would meet to determine the appropriate avoidance measures or other appropriate measure, with the ultimate determination to be made by the City of Berkeley. All significant cultural materials recovered shall be subject to scientific analysis, professional museum curation, and/or a report prepared by the qualified professional according to current professional standards.
 - C. In considering any suggested measure proposed by the qualified professional, the project applicant shall determine whether avoidance is necessary or feasible in light of factors such as the uniqueness of the find, project design, costs, and other considerations.
 - D. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery) shall be instituted. Work may proceed on other parts of the project site while mitigation measures for cultural resources is carried out.
 - E. If significant materials are recovered, the qualified professional shall prepare a report on the findings for submittal to the Northwest Information Center.

45. Human Remains (Ongoing throughout demolition, grading, and/or construction). In the event that human skeletal remains are uncovered at the project site during ground-disturbing activities, all work shall immediately halt and the Alameda County Coroner shall be contacted to evaluate the remains, and following the procedures and protocols pursuant to Section 15064.5 (e)(1) of the CEQA Guidelines. If the County Coroner determines that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to subdivision (c) of Section 7050.5 of the Health and Safety Code, and all excavation and site preparation activities shall cease within a 50-foot radius of the find until appropriate arrangements are made. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance and avoidance measures (if applicable) shall be completed expeditiously.
46. Paleontological Resources (Ongoing throughout demolition, grading, and/or construction). In the event of an unanticipated discovery of a paleontological resource during construction, excavations within 50 feet of the find shall be temporarily halted or diverted until the discovery is examined by a qualified paleontologist (per Society of Vertebrate Paleontology standards [SVP 1995,1996]). The qualified paleontologist shall document the discovery as needed, evaluate the potential resource, and assess the significance of the find. The paleontologist shall notify the appropriate agencies to determine procedures that would be followed before construction is allowed to resume at the location of the find. If the City determines that avoidance is not feasible, the paleontologist shall prepare an excavation plan for mitigating the effect of the project on the qualities that make the resource important, and such plan shall be implemented. The plan shall be submitted to the City for review and approval.
47. Halt Work/Unanticipated Discovery of Tribal Cultural Resources. In the event that cultural resources of Native American origin are identified during construction, all work within 50 feet of the discovery shall be redirected. The project applicant and project construction contractor shall notify the City Planning Department within 24 hours. The City will again contact any tribes who have requested consultation under AB 52, as well as contact a qualified archaeologist, to evaluate the resources and situation and provide recommendations. If it is determined that the resource is a tribal cultural resource and thus significant under CEQA, a mitigation plan shall be prepared and implemented in accordance with State guidelines and in consultation with Native American groups. If the resource cannot be avoided, additional measures to avoid or reduce impacts to the resource and to address tribal concerns may be required.
48. Stormwater Requirements. The applicant shall demonstrate compliance with the requirements of the City's National Pollution Discharge Elimination System (NPDES) permit as described in BMC Section 17.20. The following conditions apply:
- A. The project plans shall identify and show site-specific Best Management Practices (BMPs) appropriate to activities conducted on-site to limit to the maximum extent practicable the discharge of pollutants to the City's storm drainage system, regardless of season or weather conditions.
 - B. Trash enclosures and/or recycling area(s) shall be covered; no other area shall drain onto this area. Drains in any wash or process area shall not discharge to the storm drain system; these drains should connect to the sanitary sewer. Applicant shall contact the City of Berkeley and EBMUD for specific connection and discharge requirements. Discharges to

the sanitary sewer are subject to the review, approval and conditions of the City of Berkeley and EBMUD.

- C. Landscaping shall be designed with efficient irrigation to reduce runoff, promote surface infiltration and minimize the use of fertilizers and pesticides that contribute to stormwater pollution. Where feasible, landscaping should be designed and operated to treat runoff. When and where possible, xeriscape and drought tolerant plants shall be incorporated into new development plans.
- D. Design, location and maintenance requirements and schedules for any stormwater quality treatment structural controls shall be submitted to the Department of Public Works for review with respect to reasonable adequacy of the controls. The review does not relieve the property owner of the responsibility for complying with BMC Chapter 17.20 and future revisions to the City's overall stormwater quality ordinances. This review shall be conducted prior to the issuance of a Building Permit.
- E. All paved outdoor storage areas must be designed to reduce/limit the potential for runoff to contact pollutants.
- F. All on-site storm drain inlets/catch basins must be cleaned at least once a year immediately prior to the rainy season. The property owner shall be responsible for all costs associated with proper operation and maintenance of all storm drainage facilities (pipelines, inlets, catch basins, outlets, etc.) associated with the project, unless the City accepts such facilities by Council action. Additional cleaning may be required by City of Berkeley Public Works Engineering Dept.
- G. All private or public projects that create and/or replace 10,000 square feet or more of impervious surface must comply with Provision C.3 of the Alameda County NPDES permit and must incorporate stormwater controls to enhance water quality. Permit submittals shall include a Stormwater Requirement Checklist and detailed information showing how the proposed project will meet Provision C.3 stormwater requirements, including a) Site design measures to reduce impervious surfaces, promote infiltration, and reduce water quality impacts; b) Source Control Measures to keep pollutants out of stormwater runoff; c) Stormwater treatment measures that are hydraulically sized to remove pollutants from stormwater; d) an O & M (Operations and Maintenance) agreement for all stormwater treatment devices and installations; and e) Engineering calculations for all stormwater devices (both mechanical and biological).
- H. All on-site storm drain inlets must be labeled "No Dumping – Drains to Bay" or equivalent using methods approved by the City.
- I. Most washing and/or steam cleaning must be done at an appropriately equipped facility that drains to the sanitary sewer. Any outdoor washing or pressure washing must be managed in such a way that there is no discharge or soaps or other pollutants to the storm drain. Sanitary connections are subject to the review, approval and conditions of the sanitary district with jurisdiction for receiving the discharge.
- J. Sidewalks and parking lots shall be swept regularly to prevent the accumulation of litter and debris. If pressure washed, debris must be trapped and collected to prevent entry to the storm drain system. If any cleaning agent or degreaser is used, wash water shall not discharge to the storm drains; wash waters should be collected and discharged to the sanitary sewer. Discharges to the sanitary sewer are subject to the review, approval and conditions of the sanitary district with jurisdiction for receiving the discharge.
- K. The applicant is responsible for ensuring that all contractors and sub-contractors are aware of and implement all stormwater quality control measures. Failure to comply with the

approved construction BMPs shall result in the issuance of correction notices, citations, or a project stop work order.

49. Public Works. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter thick and secured to the ground.
50. Public Works. The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.
51. Public Works. The project sponsor shall maintain sandbags or other devices around the site perimeter during the rainy season to prevent on-site soils from being washed off-site and into the storm drain system. The project sponsor shall comply with all City ordinances regarding construction and grading.
52. Public Works. Prior to any excavation, grading, clearing, or other activities involving soil disturbance during the rainy season the applicant shall obtain approval of an erosion prevention plan by the Building and Safety Division and the Public Works Department. The applicant shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.
53. Public Works. The removal or obstruction of any fire hydrant shall require the submission of a plan to the City's Public Works Department for the relocation of the fire hydrant during construction.
54. Public Works. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.

Prior to Final Inspection or Issuance of Occupancy Permit:

55. Compliance with Conditions. The project shall conform to the plans and statements in the Use Permit. The developer is responsible for providing sufficient evidence to demonstrate compliance with the requirements throughout the implementation of this Use Permit.
56. Compliance with Approved Plan. The project shall conform to the plans and statements in the Use Permit. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated **March 29, 2023**, except as modified by conditions of approval.

BELOW MARKET RATE UNITS

57. Number of Below Market Rate (BMR) Units. The project shall provide at least 24 percent of the total units as Low Income or at least 15 percent as Very Low Income, which are required to comply with the State Density Bonus Law (Government Code Section 65915); and at least 50 percent of all of the units affordable to households making at or below 80 percent of the area median income to comply with SB 35 ministerial approval (Government Code Section 65913.4); and any additional below market rate units to comply with BMC Section 22.20.065.D. The BMR Units shall be designated in the Regulatory Agreement. BMR Units provided to comply with

Section 22.20.065.D shall be reasonably dispersed throughout the project; be of the same size and contain, on average, the same number of bedrooms as the non-BMR units in the project; and be comparable with the design or use of non-BMR units in terms of appearance, materials and finish quality. The designation of BMR Units shall conform to the addresses assigned to the building by the City.

58. Regulatory Agreement. Prior to the issuance of a building permit, the applicant shall enter into a Regulatory Agreement that implements this Permit. The Regulatory Agreement may include any terms and affordability standards determined by the City to be necessary to ensure such compliance. The applicant shall submit the Regulatory Agreement to the Housing and Community Services Department (HHCS) via email to affordablehousing@cityofberkeley.info for review and approval.
59. In addition, the following provisions shall apply:
- A. Maximum rent shall be adjusted for the family size appropriate for the unit pursuant to California Health & Safety Code Section 50052.5 (h).
 - B. Rent shall include a reasonable allowance for utilities, as published and updated by the Berkeley Housing Authority, including garbage collection, sewer, water, electricity, gas, and other heating, cooking and refrigeration fuels. Such allowance shall take into account the cost of an adequate level of service. Utilities do not include telephone service. Rent also includes any separately charged fees or service charges assessed by the lessor which are required of all tenants, other than security deposits.
 - C. BMR units will be provided for the life of the project under Section 22.20.065.
60. Determination of Area Median Income (AMI).
- The “AMI” (Area Median Income) shall be based on the income standards for the Oakland Primary Metropolitan Statistical Area reported by the United States Department of Housing and Urban Development (HUD). In the event HUD discontinues establishing such income standards, AMI shall be based on income standards determined by the California State Department of Housing and Community Development (HCD). If such income standards are no longer in existence, the City will designate another appropriate source or method for determining the median household income.
 - The applicable AMI for the purpose of determining the allowable rent for each unit (but not for the purpose of determining eligibility for occupancy of an inclusionary unit) shall be determined in accordance with the following table:

Unit Size	AMI Standard
Studio unit	AMI for a one person household
One-bedroom unit	AMI for a two person household
Two-bedroom unit	AMI for a three person household
Three-bedroom unit	AMI for a four person household

61. Nothing in these conditions shall be interpreted to prohibit, or to require modification of the Use Permit or Regulatory Agreement to allow, the provision of additional BMR units, or additional affordability, than are required in the foregoing provisions.

At All Times:

62. Exterior Lighting. All exterior lighting shall be energy efficient where feasible; and shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
 63. Rooftop Projections. No additional rooftop or elevator equipment shall be added to exceed the approved maximum roof height without submission of an application for a Use Permit Modification, subject to Board review and approval.
 64. Design Review. Signage and any other exterior modifications, including but not limited to landscaping and lighting, shall be subject to Design Review approval.
 65. Drainage Patterns. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way. Drainage plans shall be submitted for approval of the Building & Safety Division and Public Works Department, if required.
 66. Electrical Meter. Only one electrical meter fixture may be installed per dwelling unit.
 67. Residential Permit Parking. No Residential Permit Parking (RPP) permits shall be issued to project residents, nor shall commercial placards be issued to non-residential occupants and/or users of the site. The project planner shall notify the Finance Department, Customer Service Center, to add these addresses to the list of addresses ineligible for RPP permits. The property owner shall notify all tenants of rental units, and/or buyers of condominium units, of this restriction in leases and/or contracts, and shall provide sample leases and/or contracts including such notification to the project planner prior to issuance of an occupancy permit or final inspection.
 68. Tenant Notification. The developer shall provide tenant notification, via a lease rider or deed covenant, that each dwelling unit is located in a mixed-use area that includes commercial, food service and entertainment uses, and that each occupant shall not seek to impede their lawful operation.
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BUSD Workforce Housing

1701 San Pablo Ave.
Berkeley, CA 94702



SHEET INDEX	
SHEET	SHEET NAME
GENERAL	
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G0.11	EXISTING CONTEXT PHOTOS
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G0.21	SHADOW STUDIES - SUMMER SOLSTICE
G0.22	SHADOW STUDIES - EQUINOXES
G0.50	LEED FORMS
G1.00	DENSITY BONUS - SECTIONS
G1.01	DENSITY BONUS - OPEN SPACE & PARKING
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G1.04	DENSITY BONUS - PLANS
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C3.0.3	TOPOGRAPHIC SURVEY
C3.0.4	TOPOGRAPHIC SURVEY
C4.1	GRADING PLAN ELEVATIONS
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A1.11	ENLARGED SITE PLAN
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A2.11	ENLARGED PLAN - LEVEL 1 NORTH
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ABBREVIATIONS	
ABBREVIATION	TEXT
ABV	ABOVE
A/C	AIR CONDITIONING
ACC	ACCESSIBLE
A.D.	AREA DRAIN
AFF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
ALT	ALTERNATIVE
APL	ASSUMED PROPERTY LINE
APPROX	APPROXIMATE
ARCH	ARCHITECT(URAL)
A/V	AUDIO VISUAL
BD	BOARD
BLDG	BUILDING
BM	BEAM
B.O.C.	BOTTOM OF CURB
BOT	BOTTOM
B.O.W.	BACK OF SIDEWALK
BTW, B/W	BETWEEN
CAB	CABINET
CEM	CEMENT
CEM PLAS	CEMENT PLASTER
CIP	CAST IN PLACE
CL	CENTERLINE
CL.	CLOSET
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CT	CERAMIC TILE
D	DRYER
DEMO	DEMOLISH OR DEMOLITION
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DTL	DETAIL
DW	DISHWASHER
(E)	EXISTING
EA	EACH
ELEV	ELEVATOR
ELEC	ELECTRIC
EQ	EQUAL
EXT	EXTERIOR
FCB	FIBER CEMENT BOARD

ABBREVIATIONS	
ABBREVIATION	TEXT
FCP	FIBER CEMENT PANEL
FD	FLOOR DRAIN
FF	FINISHED FLOOR
FLR	FLOOR
F.O.B.	FACE OF BEAM
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.S.	FACE OF STUD
FR	FIRE RESISTANCE
FRP	FIBER REINFORCED PLASTIC
FT	FOOT OR FEET
GA	GAUGE
GSM	GALVANIZED SHEET METAL
GWB	GYPHUM WALL BOARD
HC	HOLLOW CORE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR OR HANDRAIL
HSS	TUBE STEEL
HT	HEIGHT
HVAC	HEATING, VENTILATION, AIR-CONDITIONING
IN	INCHES
INT	INTERIOR
JAN	JANITOR
KIT	KITCHEN
LAV	LAVATORY
LVL	LEVEL
LVT	LUXURY VINYL TILE
MAX	MAXIMUM
MTL	METAL
MFR	MANUFACTURER
MIN	MINIMUM
N/A	NOT APPLICABLE
OC	ON CENTER
OH	OVERHEAD
OPP	OPPOSITE
OPNG	OPENING
PERF	PERFORATED
P.L.	PROPERTY LINE
PT	PRESSURE TREATED OR POST TENSIONED
PTD	PAINTED

ABBREVIATIONS	
ABBREVIATION	TEXT
PLY	PLYWOOD
PV	PHOTOVOLTAIC
QTY	QUANTITY
RCP	REFLECTED CEILING PLAN
RM	ROOM
RO	ROUGH OPENING
SAF	SELF-ADHERED FLASHING
SC	SOLID CORE
S.C.D.	SEE CIVIL DRAWINGS
S.S.D.	SEE STRUCTURAL DRAWINGS
SECT	SECTION
S.E.D.	SEE ELECTRICAL DRAWINGS
SF	SQUARE FOOT
SIM	SIMILAR
S.L.D.	SEE LANDSCAPE DRAWINGS
S.L.D.	SEE LANDSCAPE DRAWINGS
STC	SOUND TRANSMISSION CLASS
STD	STANDARD
STL	STEEL
STOR	STORAGE
T.O.C.	TOP OF CONCRETE
T.O.S.	TOP OF SLAB
T.O.W.	TOP OF WALL
TYP	TYPICAL
UL	UNDERWRITER'S LABORATORY
UON	UNLESS OTHERWISE NOTED
W	WASHER
W/	WITH
WC	WATER CLOSET
W/D	STACKED WASHER AND DRYER
WD	WOOD
WH	WATER HEATER
W/O	WITHOUT
W.O.	WHERE OCCURS
WP	WATER PROOF
WRB	WATER RESISTIVE BARRIER
WS	WHEELSTOP

PROJECT DATA

ADDRESS: 1701 SAN PABLO AVE. BERKELEY, CA 94702

APN: 58-2129-17

EXISTING USE: ON-GRADE PARKING LOT

PROPOSED USE: MIXED-USE / RESIDENTIAL

ZONING: C-W / R-2

PROPOSED CONSTRUCTION TYPE: TYPE IA SPRINKLERED, NFPA-13 (GROUND FLOOR)
TYPE IIIA SPRINKLERED, NFPA-13 (RESIDENTIAL)

OCCUPANCY CLASSIFICATION: R-2 RESIDENTIAL UNITS
S-2 GARAGE
B LEASING OFFICE / AMENITIES

OCCUPANCY LOAD:

R-2 RESIDENTIAL UNITS	200/OCC	84,702 / 200 = 424
S-2 GARAGE	200/OCC	30,613 / 200 = 154
A ASSEMBLY W/O FIXED SEATS	15/OCC	11,761 / 15 = 785
A EXERCISE / ASSEMBLY	50/OCC	580 / 50 = 12
S ACCESSORY STOR. / MECH.	300 OCC	7,032 / 300 = 24
1,399 TOTAL OCCUPANTS		

GROSS SITE AREA: 33,920 SF

UNIT MATRIX | 110 TOTAL UNITS

	STUDIO	1BR	2BR	3BR	TOTAL
LEVEL 1	--	--	--	--	--
LEVEL 2	--	11	5	4	20
LEVEL 3	--	12	5	4	21
LEVEL 4	--	12	5	6	23
LEVEL 5	--	12	5	6	23
LEVEL 6	--	12	5	6	23

PROJECT DESCRIPTION

THIS .78 ACRE SITE IS BOUNDED BY AN INTERIOR LOT LINE TO THE WEST, VIRGINIA ST. TO THE NORTH, SAN PABLO AVE. TO THE EAST, AND FRANCISCO ST. TO THE SOUTH. THE SITE IS CURRENTLY OCCUPIED BY AN EXISTING ON-GRADE PARKING LOT, PRIMARILY SERVING THE BERKELEY ADULT SCHOOL (BAS). THIS PARKING LOT WILL BE REMOVED TO ALLOW FOR NEW CONSTRUCTION.

THE SITE STRADDLES C-W AND R-2 ZONES. ON-SITE PARKING WILL BE PROVIDED. OFF-SITE LOADING ZONES WILL OCCUR ON SAN PABLO AVE.

THE PROJECT WILL BE COMPRISED OF 110 AFFORDABLE RENTAL UNITS, ALL EITHER ONE, TWO, OR THREE BEDROOM FLATS. THE PROJECT WILL BE RESERVED FOR BERKELEY UNIFIED SCHOOL DISTRICT EMPLOYEES AND THEIR FAMILIES. THE GROUND FLOOR WILL CONTAIN A LOBBY, MANAGEMENT OFFICES, BICYCLE STORAGE, CO-WORKING SPACES, MEETING ROOMS, AND MAIL AND PACKAGE STORAGE. THE SECOND FLOOR WILL CONTAIN A SHARED LAUNDRY ROOM, LANDSCAPED COURTYARD, GENERAL AMENITY SPACE, AND SHARED COMMUNITY ROOM FOR RESIDENTS.

PARKING SUMMARY

AUTO

	<u>REQUIRED</u>	<u>PROVIDED</u>
RESIDENTIAL	55 SPACES MAX	55 SPACES
COMMERCIAL	--	--

BICYCLE

	<u>REQUIRED</u>	<u>PROVIDED</u>
LONG-TERM BIKE PARKING	63 SPACES	100 SPACES
SHORT-TERM BIKE PARKING	5 SPACES	5 SPACES

GROSS BLDG. AREA

PROGRAM GSF BY LEVEL	
Program	Gross Floor Area
Level 1 Main	
AMENITY	3428 SF
CIRCULATION_V	520 SF
PARKING	19804 SF
SERVICE	3347 SF
27099 SF	
Level 2	
AMENITY	2390 SF
CIRCULATION_H	2339 SF
RESIDENTIAL	15122 SF
SERVICE	288 SF
20139 SF	
Level 3	
CIRCULATION_H	2019 SF
RESIDENTIAL	15673 SF
17692 SF	
Level 4	
CIRCULATION_H	2019 SF
RESIDENTIAL	17880 SF
19899 SF	
Level 5	
CIRCULATION_H	2019 SF
RESIDENTIAL	17880 SF
19899 SF	
Level 6	
CIRCULATION_H	2019 SF
RESIDENTIAL	17642 SF
19661 SF	
Roof	
SERVICE	143 SF
143 SF	
Grand total	124532 SF

PROJECT TEAM

DEVELOPER:

SATELLITE AFFORDABLE HOUSING ASSOCIATES
1835 ALCATRAZ AVE.
BERKELEY, CA 94703

CONTACT: EVE STEWART
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E: ESTEWART@SAHAHOMES.ORG

DEVELOPER:

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1149 S. HILL ST., S. 700
LOS ANGELES, CA 90015

CONTACT: MAEGAN PEARSON
P: 213.225.2786
E: MPEARSON@ABODECOMMUNITIES.ORG

LAND-USE:

RHOADES PLANNING GROUP
2140 SHATTUCK AVE., S. 705
BERKELEY, CA 94704

CONTACT: MARK RHOADES
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E: MARK@RHOADESPLANNINGGROUP.COM

ARCHITECT:

PYATOK
1611 TELEGRAPH AVE., S. 200
OAKLAND, CA 94612

CONTACT: KEVIN MARKARIAN
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E: KMARKARIAN@PYATOK.COM

LANDSCAPE ARCHITECT:

PGA DESIGN
444 17TH ST.
OAKLAND, CA 94612

CONTACT: CHRIS KENT
P: 510.550.8867
E: KENT@PGADESIGN.COM

CIVIL ENGINEER:

LUK & ASSOCIATES
738 ALFRED NOBEL DR.
HERCULES, CA 94547

CONTACT: CHRIS WOOD
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BUSD WORKFORCE HOUSING
1701 San Pablo Ave
Berkeley, CA 94702

PROJECT INFO
SB 35 APPLICATION | 02/17/2023



G0.03

C-W						
Basic Standards	Required (Base)	Provided (Base)	Required (Proposed)	Provided (Proposed)	Concession / Waiver	Supplemental Stds.
Lot Area Minimum						
New Lots	No minimum	N/A	N/A	N/A	NO	23.304.020 - Lot Requirements
Per Group Living Accommodation Resident	350 SF					
Usable Open Space, Minimum						
Per Dwelling Unit or L/W Unit	40 SF	(69 units x 40 SF) 2,760 SF	2,894 SF	(80 units x 40 SF) 3,200 SF	4,095 SF	NO
Floor Area Ratio, Maximum	3.0 max. FAR		(67,060 SF / 22,426 SF) 2.99 FAR		(78,438 SF / 22,426 SF) 3.50 FAR	WAIVER
Main Building Height, Minimum	No minimum					
Main Building Height, Maximum	50ft. & 4 stories, mixed use		50'-0" & 4 stories		72'-6" & 6 stories	WAIVER
Commercial Space	>0 SF		1000 SF		0 SF	CONCESSION
Lot Line Setbacks, Minimum						
Abutting/Confronting a Non-res. District	Front: 0 ft. Rear: 0 ft. Interior Side: 0 ft. Street Side: 0 ft.		Front: 0 ft. Rear: 0 ft. Interior Side: N/A Street Side: 0 ft.		Front: 8'-6" avg. (varies) Rear: N/A Interior Side: NA Street Side: 3'-0" (varies)	NO
Building Separation, Minimum	No minimum		162'-0"		67'-6"	NO
Lot Coverage, Maximum	100%		(21,746 SF / 22,426 SF) 97%		(19,688 SF / 22,426 SF) 86%	NO
Parking						
Residential	No minimum	0	35 spaces	0	29 spaces	NO
Commercial	2 / 1000 SF min.	2 spaces	2 spaces			NO

R-2						
Basic Standards	Required (Base)	Provided (Base)	Required (Proposed)	Provided (Proposed)	Concession / Waiver	Supplemental Stds.
Lot Area Minimum						
New Lots	5,000 SF	2,500 SF / Unit	(11,494 SF / 4 Units) 2,874 SF / Unit	2,500 SF / Unit	(11,494 SF / 30 Units) 383 SF / Unit	WAIVER
Per Dwelling Unit	2,500 SF					
Usable Open Space per Dwelling Unit, Minimum						
Per Dwelling Unit or L/W Unit	400 SF	(4 units x 400 SF) 1,600 SF	7,378 SF	(30 units x 400 SF) 12,000 SF	3,998 SF	WAIVER
Floor Area Ratio, Maximum	No maximum	N/A	(5,704 SF / 11,494 SF) 0.50 FAR		(26,905 SF / 11,494 SF) 2.34 FAR	NO
Main Building Height, Minimum	No minimum					
Main Building Height, Maximum	No maximum					
Main Building Height, Average						
New Buildings	35'-0" & 3 stories		25'-0" & 2 stories		70'-0" & 6 stories	WAIVER
Lot Line Setbacks, Minimum (by story)						
2 Story Building	Front: 20'-0" Rear: 20'-0" Interior Side: 6'-0" Street Side: 10'-0"		Front: N/A Rear(North): N/A Interior Side (East): 23'-9" Interior Side(South): 19'-0" Street Side: N/A		Front: N/A Rear (North): N/A Interior Side (East): 7'-0" Interior Side (South): 1'-0" Street Side: N/A	WAIVER
Building Separation, Minimum (by story)						
First	0'-0"		92'-0"		67'-6"	
Second	0'-0"		92'-0"		67'-6"	NO
Third	0'-0"		92'-0"		67'-6"	
Lot Coverage, Maximum						
2 Story Building, Corner Lot	45%		(2,852 SF / 11,494 SF) 25%		(9,358 SF / 11,494 SF) 81%	WAIVER
Parking						
Residential	No minimum	0	4 spaces	0	26 spaces	NO
Commercial						

Summary of Density Bonus Units and Floor Area

Zone	Base Project	Proposed Project
Units in C-W	69	80
Units in R-2	4	30
Total Units	73 (x1.5 = 109.5 = 110 with DB round-up)	110
Total Floor Area	71,746 SF (x1.5 = 107,619 SF maximum)	106,961 SF

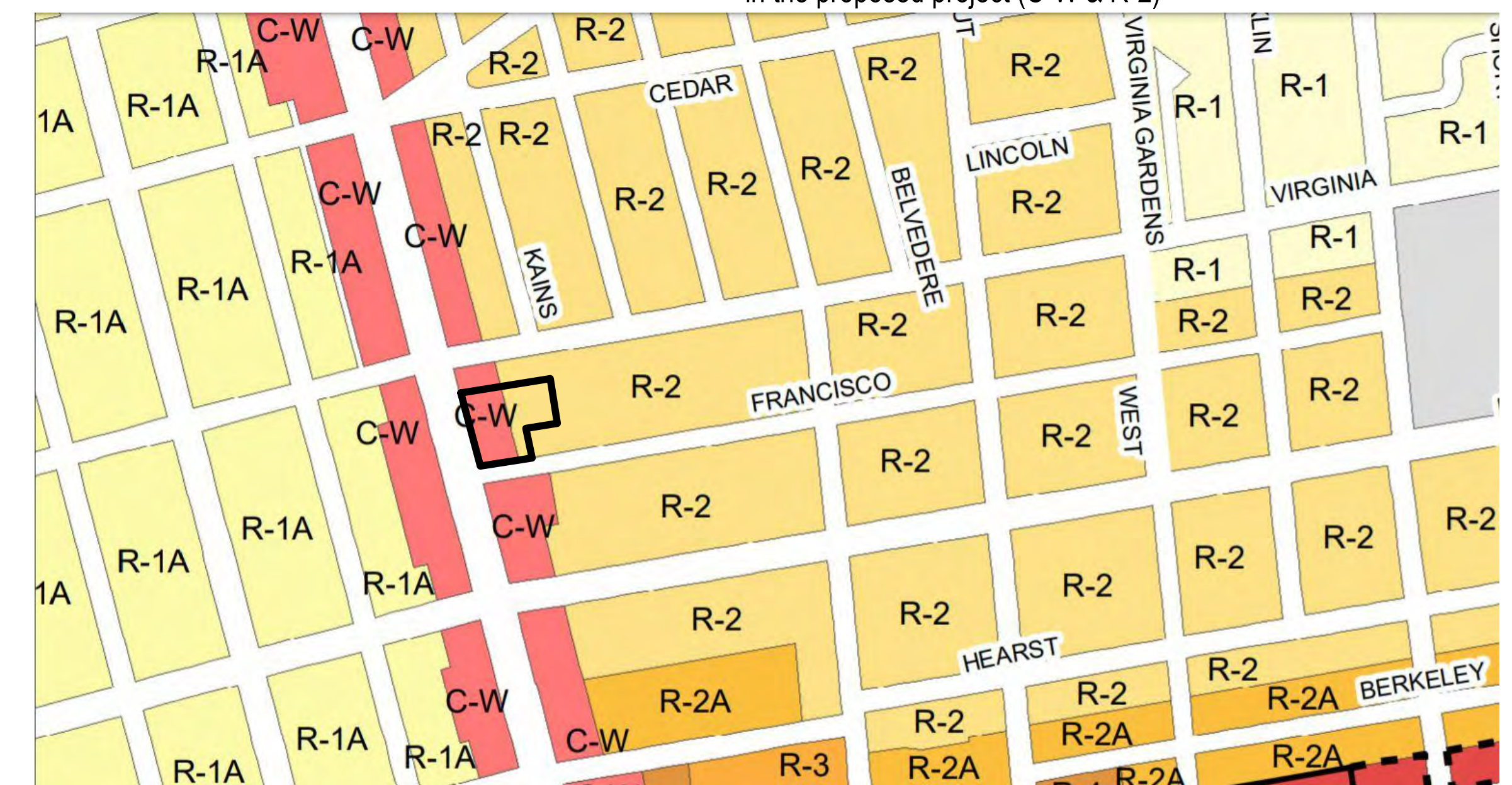
Summary of Waiver / Concession Requests C-W Zone

Standard	Required	Provided	Waiver / Concession
FAR	3.0	3.55	Waiver
Commercial Space	>0 SF	0 SF	Concession
Building Height (Maximum)	50 ft. & 4 stories	72 ft. & 6 stories	Waiver

R-2 Zone

Standard	Required	Provided	Waiver / Concession
Usable Open Space	12,000 SF	3,998 SF	Waiver*
Lot Coverage	40% max.	79%	Waiver
Building Height (Average)	35 ft. & 3 stories	70 ft. & 6 stories	Waiver
Setbacks	6 ft. (Interior Side) 20 ft. (Rear)	1 ft. (South Interior Side) 9' - 6" (North Side)	Waiver
Lot Line Screening	When abutting res. zone	Not Provided	Waiver
Lot area Minimum	2,500 SF per Unit	383 SF per Unit	Waiver

*Open space waiver requested for overall combined open space in the proposed project (C-W & R-2)

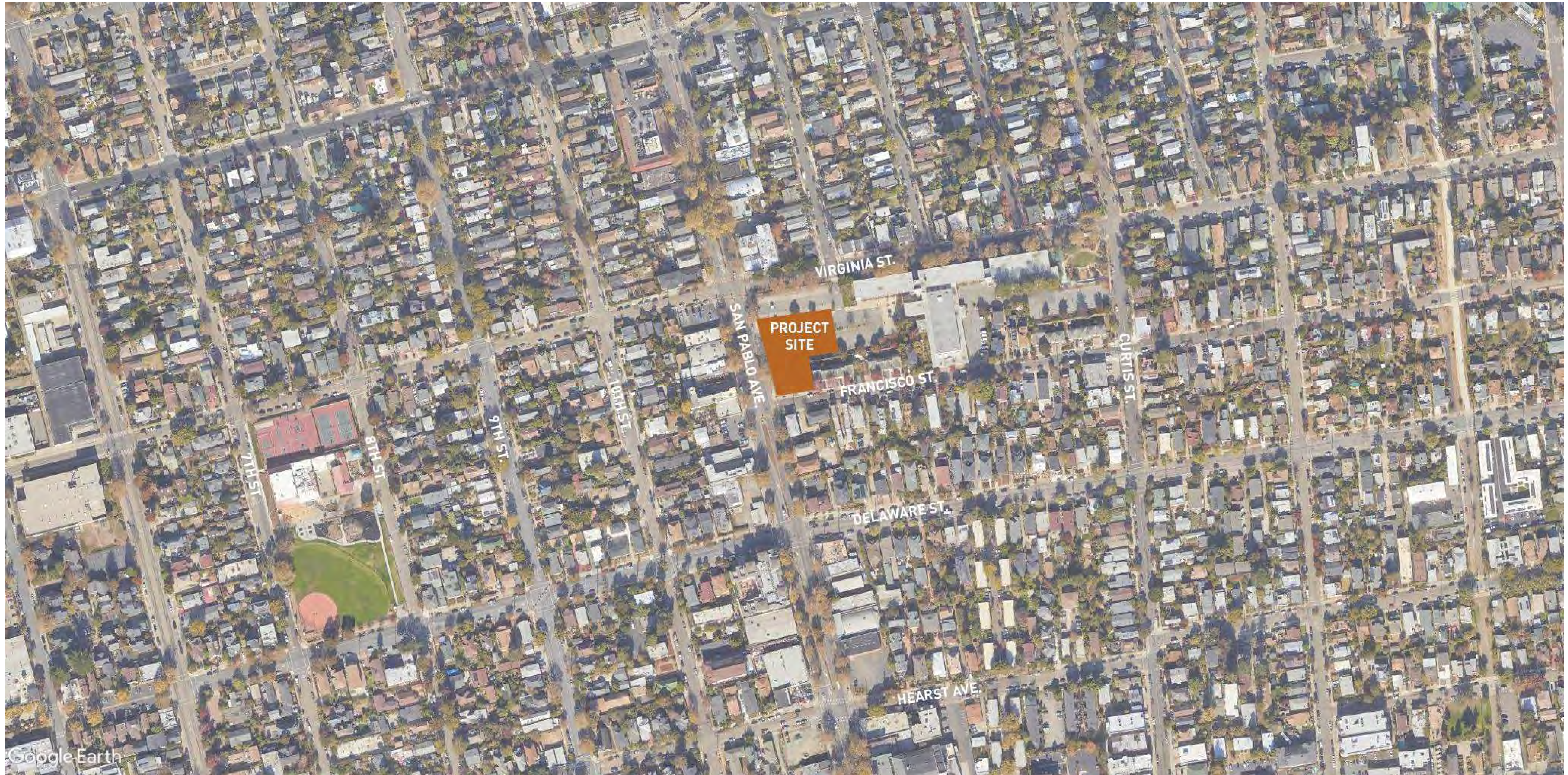


PLANNING DATA

SB 35 APPLICATION | 02/17/2023



GO.04





1. FROM VIRGINIA ST., LOOKING WEST



4. FROM BAS, LOOKING WEST



7. FROM SAN PABLO AVE., LOOKING NORTH



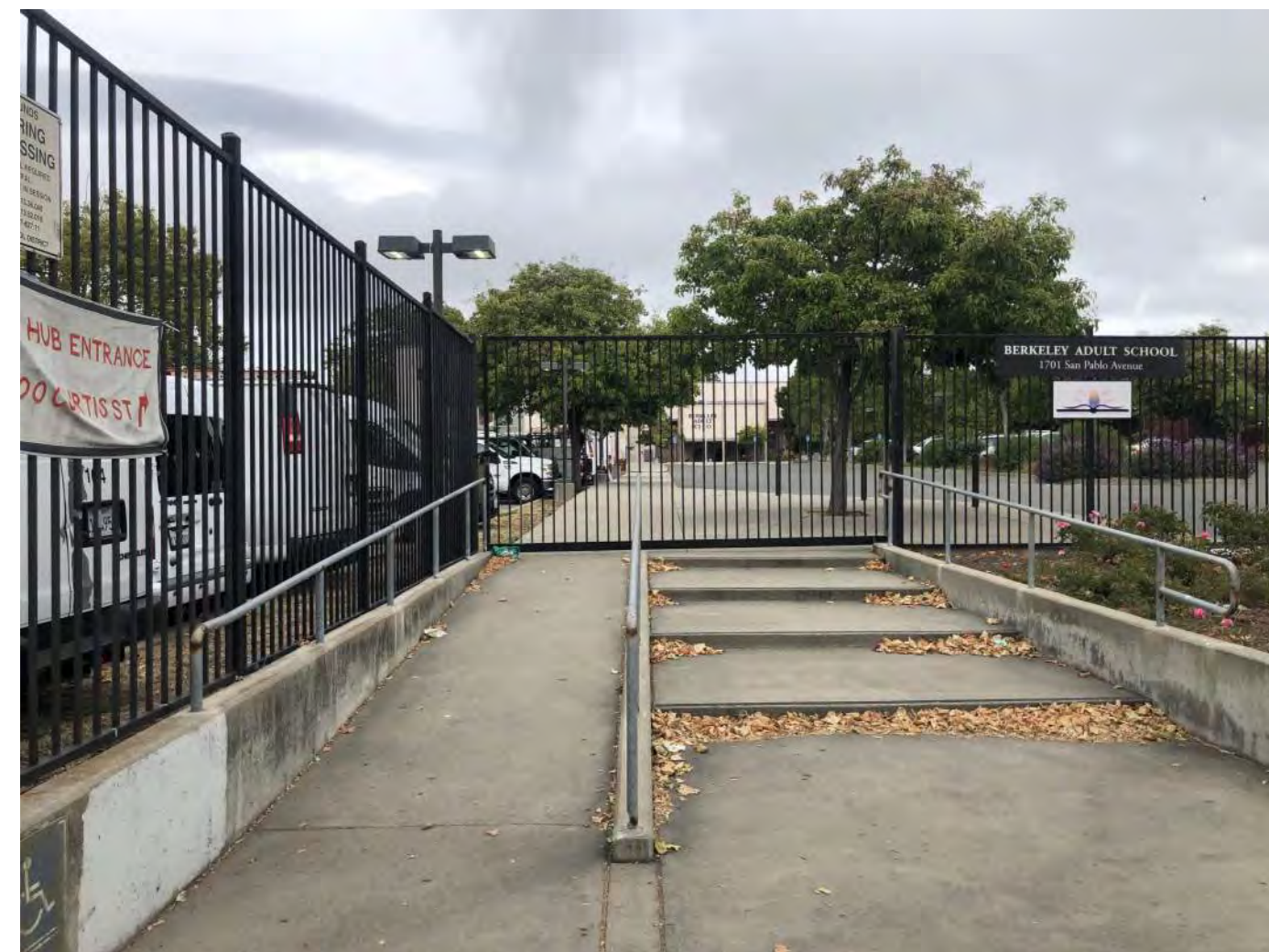
2. FROM VIRGINIA ST., LOOKING SOUTH



5. FROM BAS, LOOKING WEST



3. FROM FRANCISCO ST., LOOKING NORTH



6. FROM SAN PABLO AVE., LOOKING EAST



KEY PLAN

- 1. LOOKING TOWARDS SAN PABLO FROM VIRGINIA.
- 2. EXISTING BERKELEY ADULT SCHOOL (BAS) ACCESS FROM VIRGINIA ST.
- 3. SOUTH-WEST CORNER OF SITE FROM FRANCISCO ST.
- 4. VIEW OF PARKING LOT FROM BAS. PARKING LOT TO REMAIN.
- 5. VIEW OF PARKING LOT FROM BAS. PARKING LOT TO REMAIN.
- 6. PEDESTRIAN ACCESS FROM SAN PABLO TO BAS, TO REMAIN.
- 7. SOUTH-WEST CORNER OF SITE FROM OPPOSITE SIDE OF SAN PABLO AVE.



1. FRANCISCO ST. LOOKING WEST - BEFORE



1. FRANCISCO ST. LOOKING WEST - AFTER



2. VIRGINIA ST. LOOKING WEST - BEFORE



2. VIRGINIA ST. LOOKING WEST - AFTER





3. SAN PABLO AVE. LOOKING SOUTH - BEFORE



3. SAN PABLO AVE. LOOKING SOUTH - AFTER

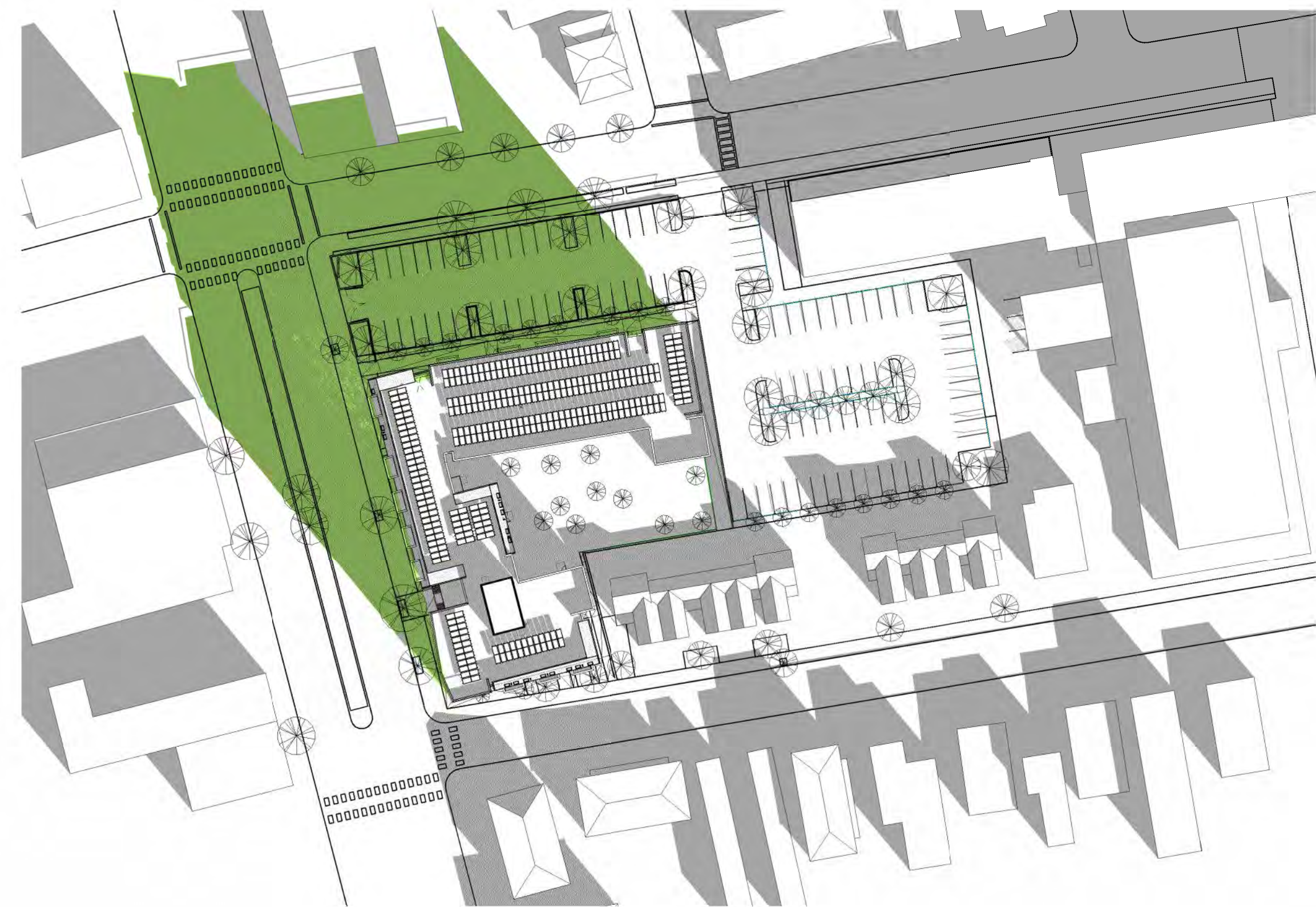


4. SAN PABLO AVE. LOOKING NORTH - BEFORE

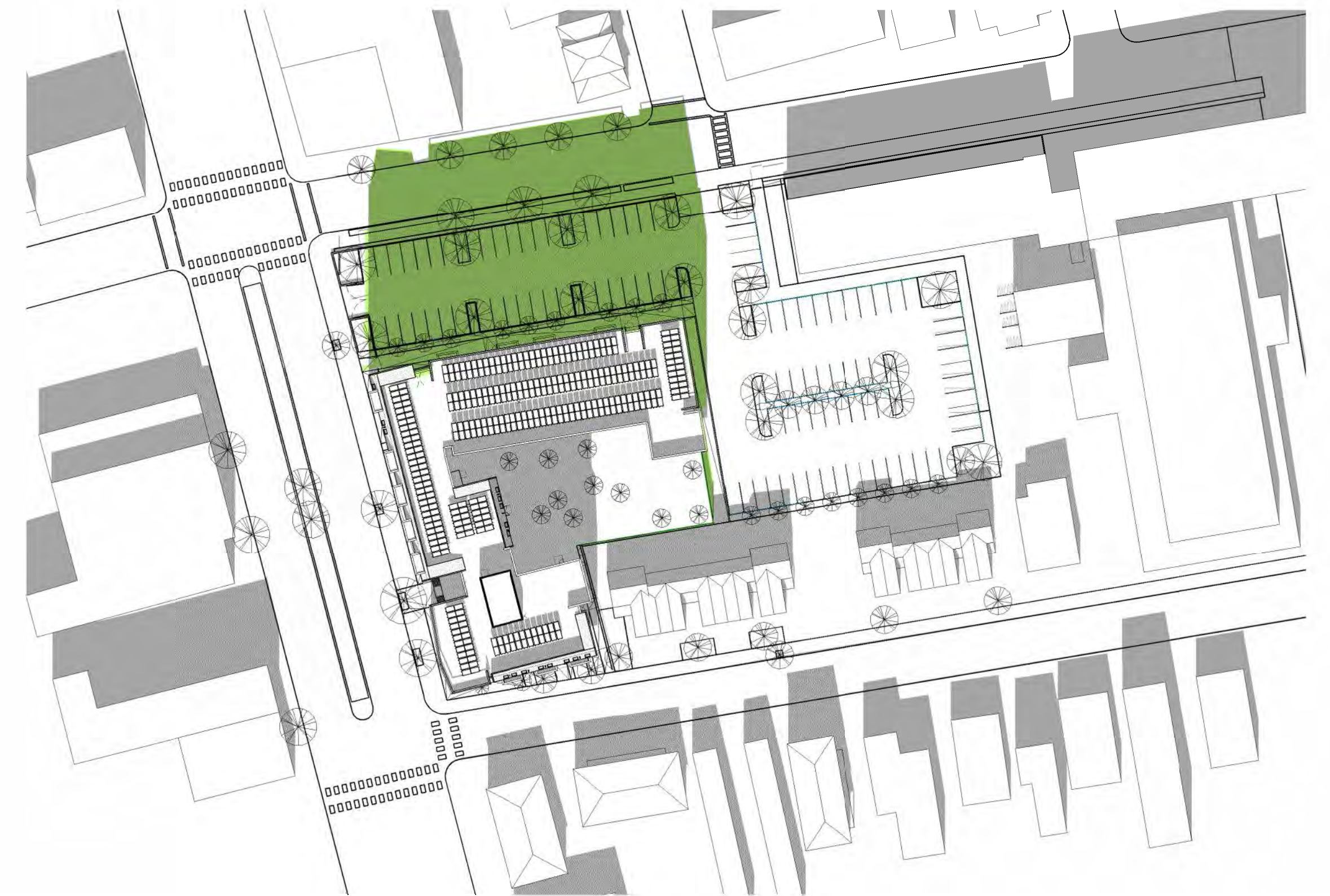


4. SAN PABLO AVE. LOOKING NORTH - AFTER





SHADOW STUDY - WINTER MORNING (2HRS AFTER SUNRISE) ①
1/64" = 1'-0"

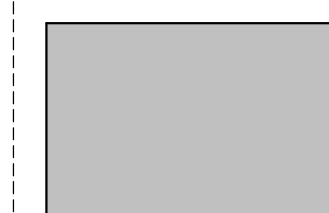


SHADOW STUDY - WINTER MID DAY (SOLAR NOON) ②
1/64" = 1'-0"



SHADOW STUDY - WINTER EVENING (2 HRS BEFORE SUNSET) ③
1/64" = 1'-0"

SHADOW STUDY - KEY



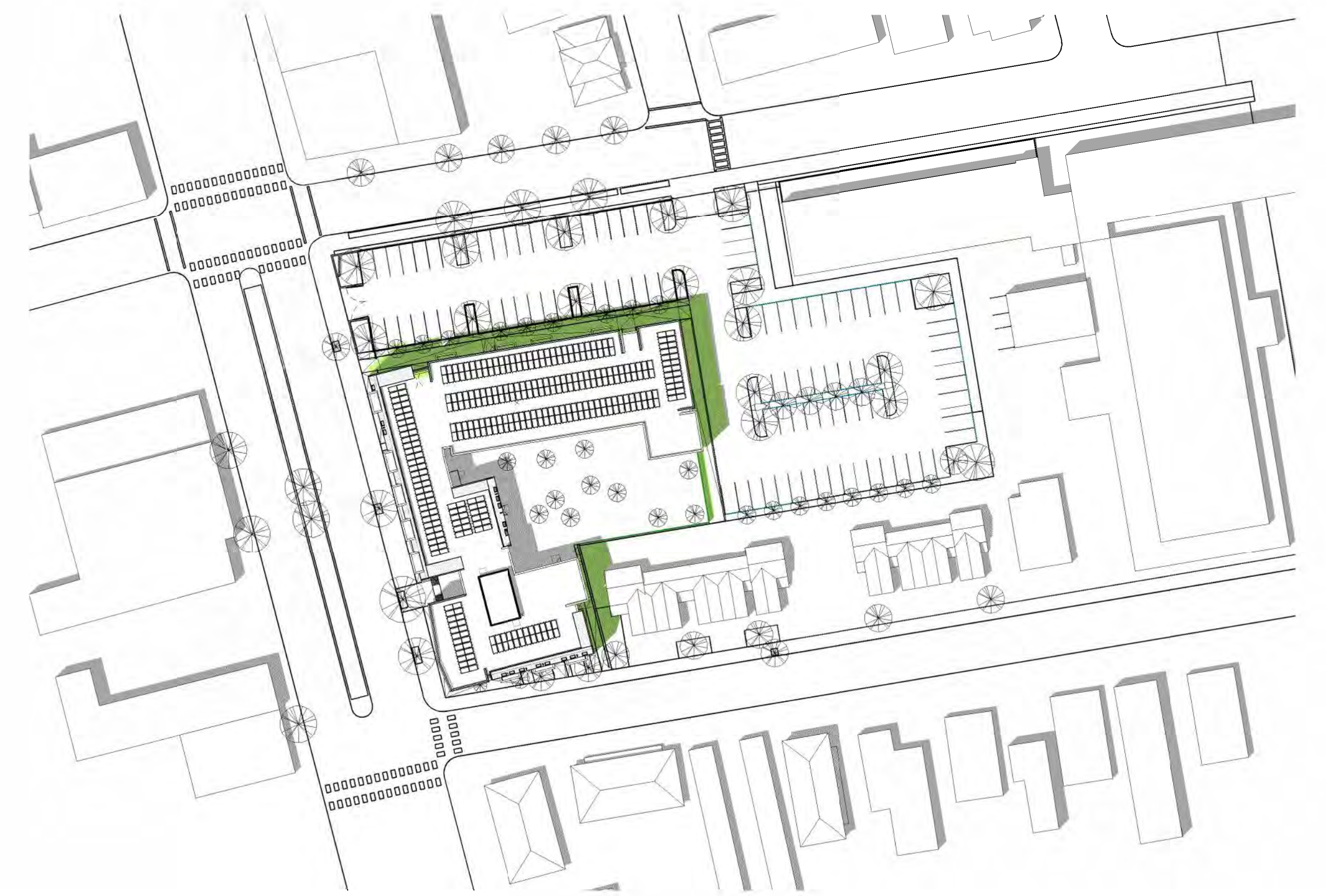
= EXISTING SHADOWS



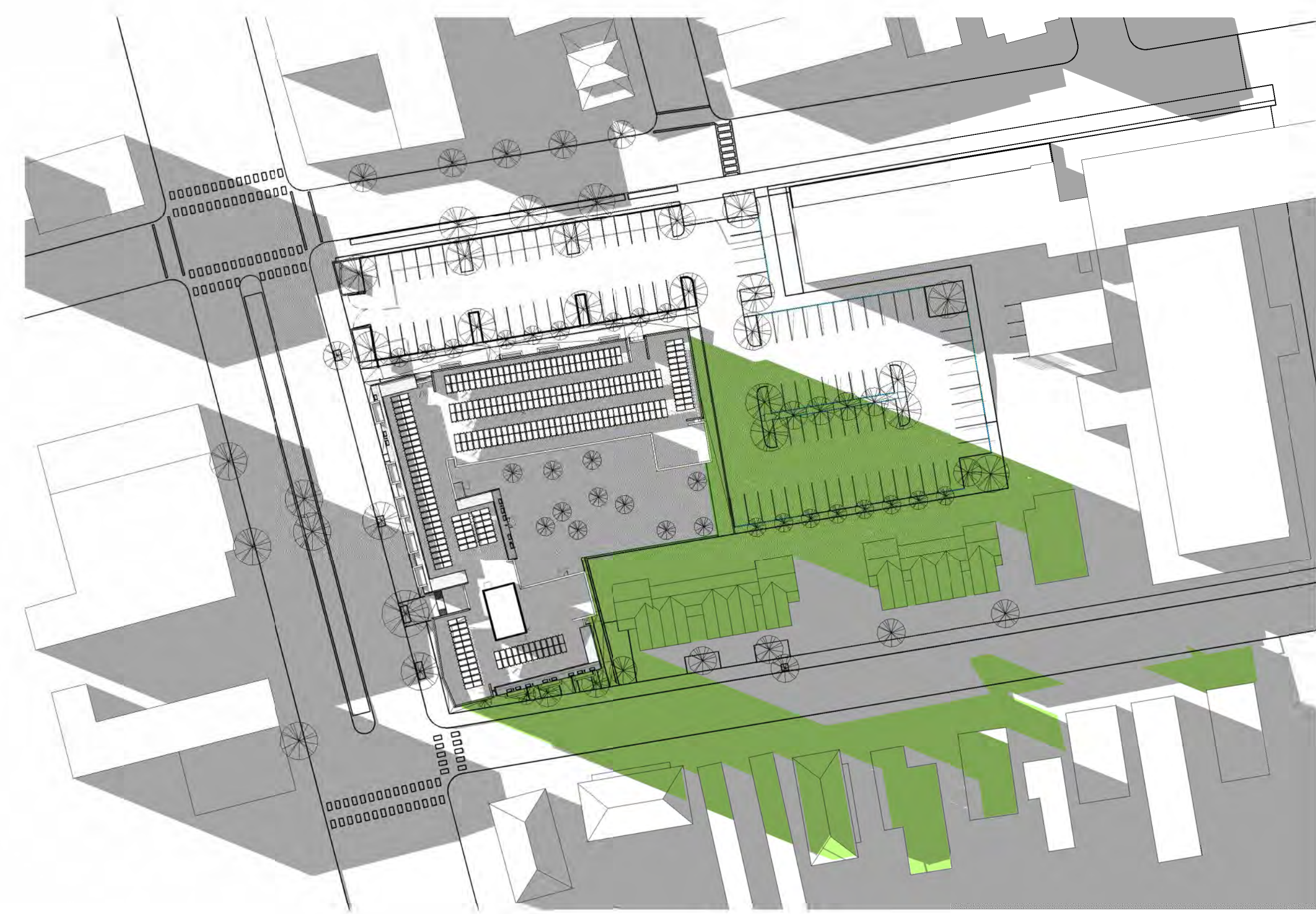
= NEW SHADOWS



SHADOW STUDY - SUMMER MORNING (2HRS AFTER SUNRISE) ①
1/64" = 1'-0"

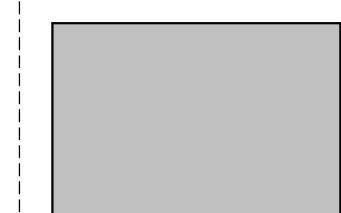


SHADOW STUDY - SUMMER MID DAY (SOLAR NOON) ②
1/64" = 1'-0"



SHADOW STUDY - SUMMER EVENING (2HRS BEFORE SUNSET) ③
1/64" = 1'-0"

SHADOW STUDY - KEY



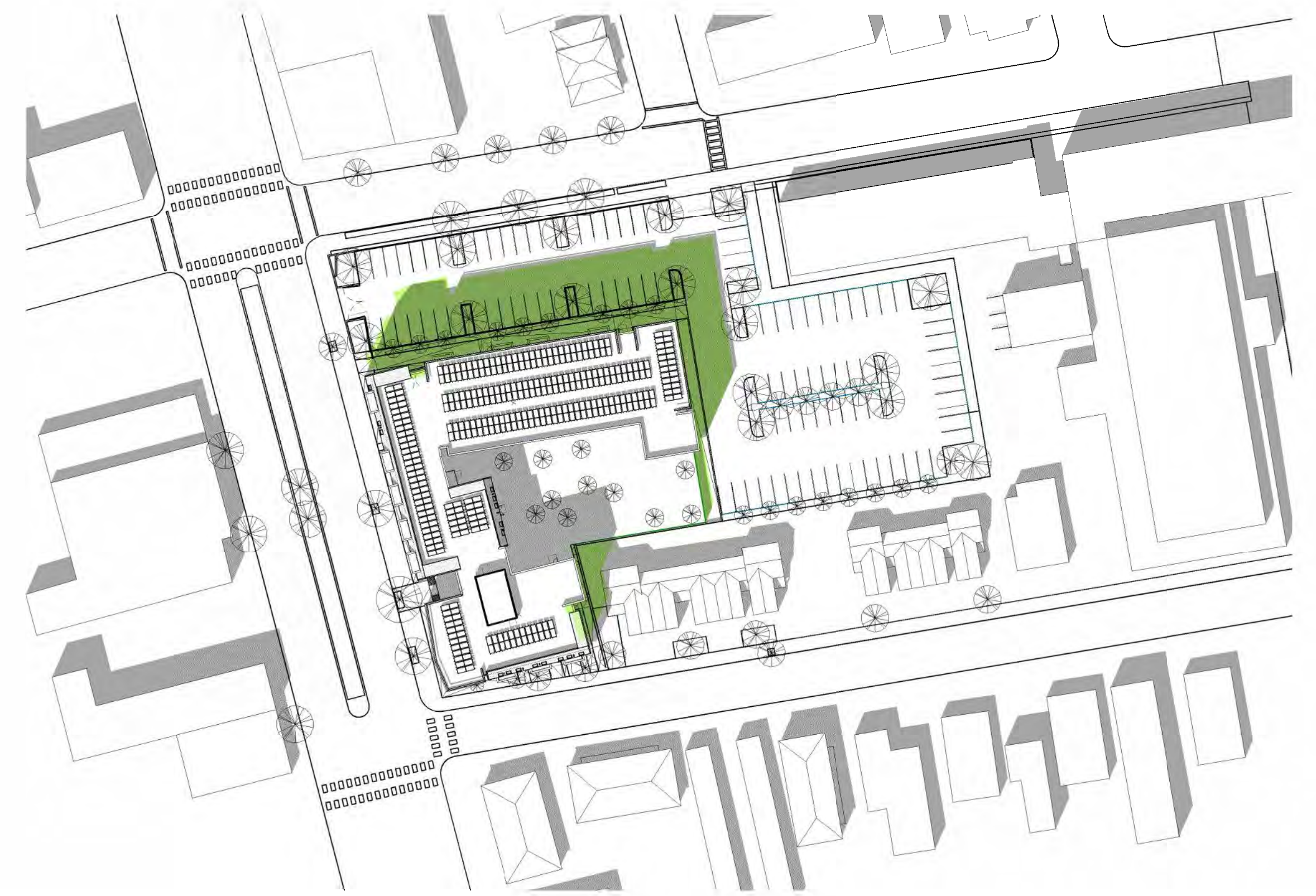
= EXISTING SHADOWS



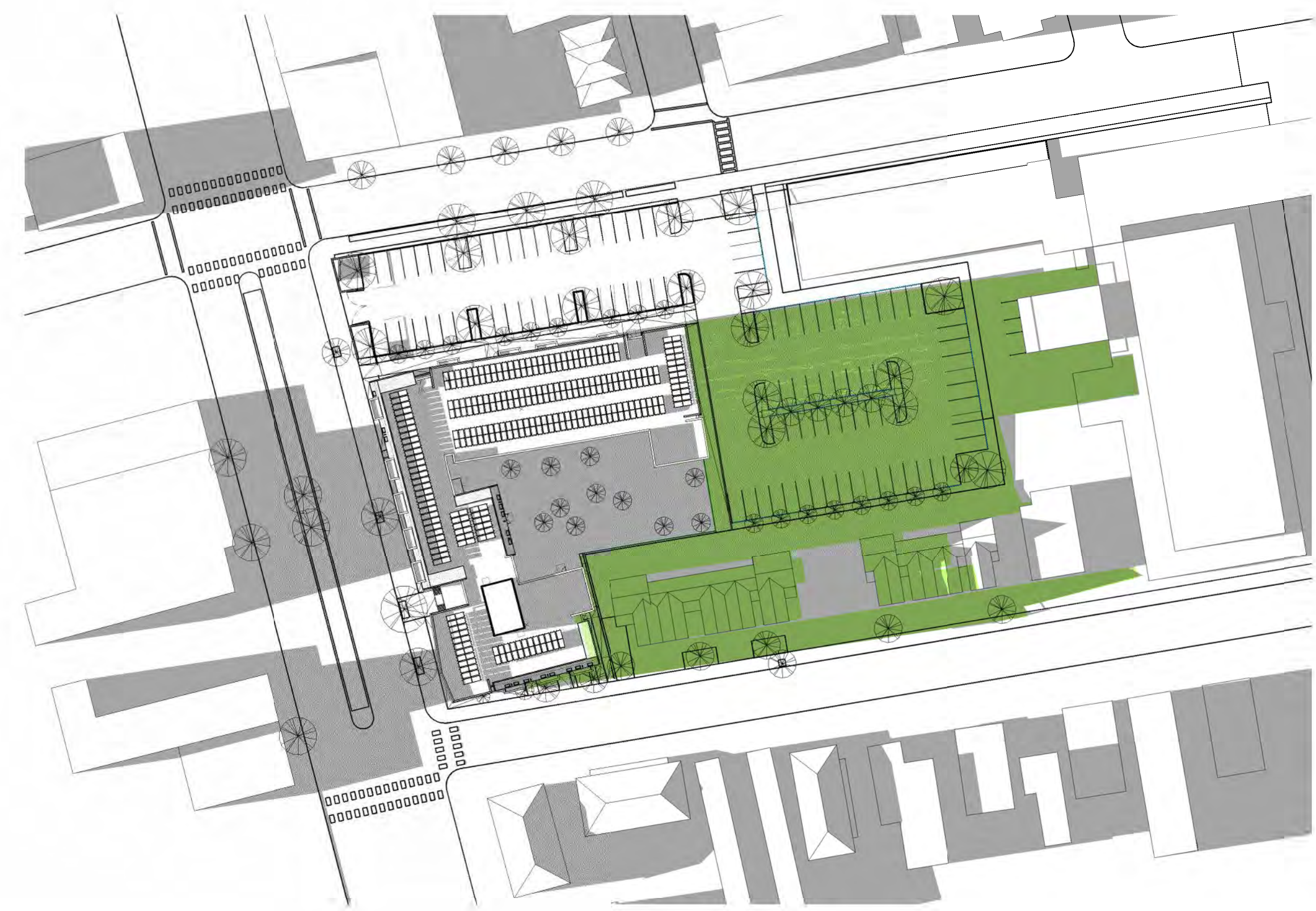
= NEW SHADOWS



SHADOW STUDY - EQUINOX MORNING (2HRS AFTER SUNRISE) ①
1/64" = 1'-0"

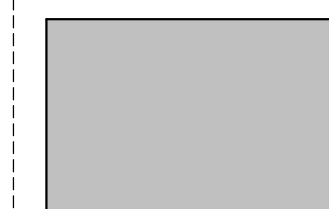


SHADOW STUDY - EQUINOX MID DAY (SOLAR NOON) ②
1/64" = 1'-0"



SHADOW STUDY - EQUINOX EVENING (2HRS BEFORE SUNSET) ③
1/64" = 1'-0"

SHADOW STUDY - KEY



= EXISTING SHADOWS



= NEW SHADOWS

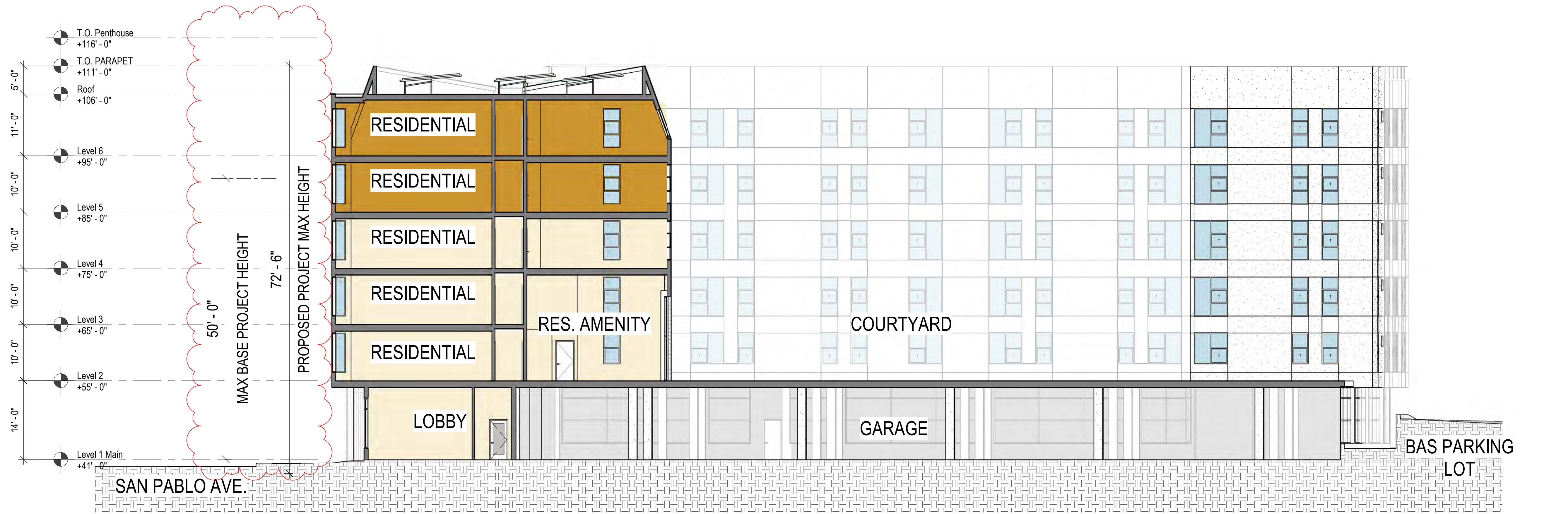
Scorecard

Location: , , ,

Note: The data reflects the latest available information. To edit this information, use the Credit Categories tab.

Category	Preliminary	Y	Score	Max	Verified
Integrative Process	Preliminary	Y	2 of 2	2	0
IPc Integrative Process			2 of 2	2	0
Location and Transportation	Preliminary	Y	15 of 15	15	15
LTP Floodplain Avoidance			Required	1	1
<i>Performance Path</i>					
LTC LEED for Neighborhood Development			0 of 15	15	0
<i>Prescriptive Path</i>					
LTC Site Selection			8 of 8	8	8
LTC Compact Development			3 of 3	3	3
LTC Community Resources			2 of 2	2	2
LTC Access to Transit			2 of 2	2	2
Sustainable Sites	Preliminary	Y	1.5 of 7	7	0
SSp Construction Activity Pollution Prevention			Required	1	0
SSp No Invasive Plants			Required	1	0
SSc Heat Island Reduction			1 of 2	2	0
SSc Rainwater Management			0 of 3	3	0
SSc Nontoxic Pest Control			0.5 of 2	2	0
Water Efficiency	Preliminary	Y	10 of 12	12	0
WEP Water Metering			Required	1	0
<i>Performance Path</i>					
WEC Total Water Use			0 of 12	12	0
<i>Prescriptive Path</i>					
WEC Indoor Water Use			6 of 6	6	6
WEC Outdoor Water Use			4 of 4	4	4
Energy and Atmosphere	Preliminary	Y	21 of 37	37	18
EAP Minimum Energy Performance			Required	1	0
EAP Energy Metering			Required	1	0
EAP Education of the Homeowner, Tenant or Building Manager			Required	1	0
EAC Annual Energy Use			18 of 30	30	18
EAC Efficient Hot Water Distribution System			2 of 5	5	0
EAC Advanced Utility Tracking			1 of 2	2	0

Category	Preliminary	Y	Score	Max	Verified
Materials and Resources	Preliminary	Y	2 of 9	9	0
MRp Certified Tropical Wood			Required	1	0
MRp Durability Management			Required	1	0
MRc Durability Management Verification			1 of 1	1	0
MRc Environmentally Preferable Products			1 of 5	5	0
MRc Construction Waste Management			0 of 3	3	0
Indoor Environmental Quality	Preliminary	Y	9 of 16	16	0
EQp Ventilation			Required	1	0
EQp Combustion Venting			Required	1	0
EQp Garage Pollutant Protection			Required	1	0
EQp Radon-Resistant Construction			Required	1	0
EQp Air Filtration			Required	1	0
EQp Environmental Tobacco Smoke			Required	1	0
EQp Compartmentalization			Required	1	0
EQc Enhanced Ventilation			3 of 3	3	3
EQc Contaminant Control			0 of 2	2	0
EQc Balancing of Heating and Cooling Distribution Systems			1 of 3	3	0
EQc Enhanced Compartmentalization			0 of 3	3	0
EQc Combustion Venting			2 of 2	2	0
EQc Enhanced Garage Pollutant Protection			0 of 1	1	0
EQc Low-Emitting Products			2 of 3	3	0
EQc No Environmental Tobacco Smoke			1 of 1	1	0
Innovation	Preliminary	Y	2 of 6	6	0
INp Preliminary Rating			Required	1	0
INc Innovation			2 of 5	5	0
INc LEED Accredited Professional			0 of 1	1	0
Regional Priority	Preliminary	Y	4 of 4	4	0
RPC Regional Priority			4 of 4	4	0
Point Floors					
The project earned at least 8 points total in Location and Transportation and Energy and Atmosphere					<input type="checkbox"/> Yes
The project earned at least 3 points in Water Efficiency					<input type="checkbox"/> No
The project earned at least 3 points in Indoor Environmental Quality					<input type="checkbox"/> No
Total	Preliminary	Y	66.5 of 110	110	33
Certification Thresholds Certified: 40-49, Silver: 50-59, Gold: 60-79, Platinum: 80-110					

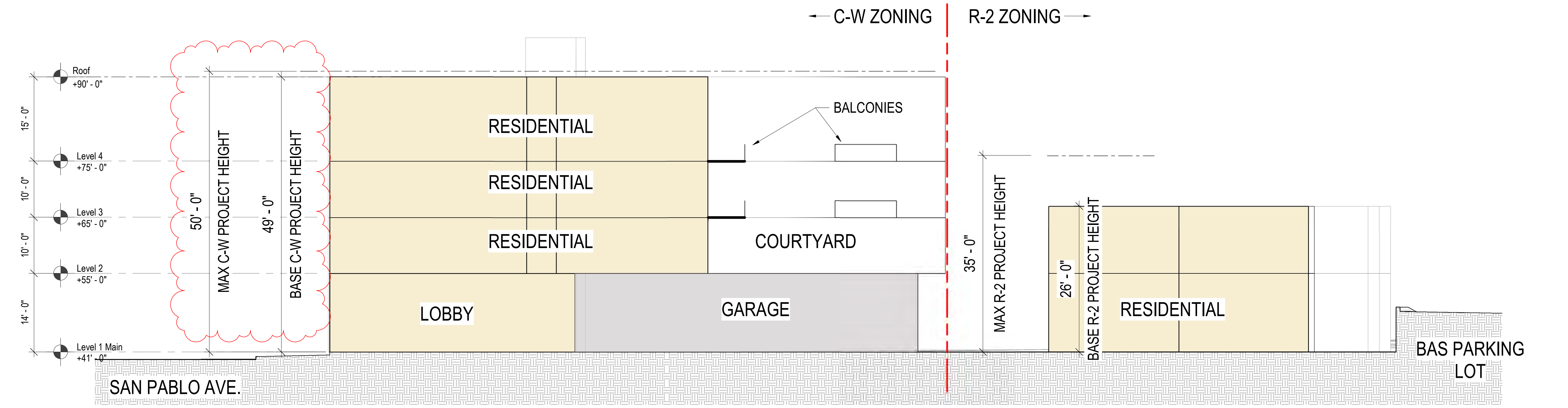
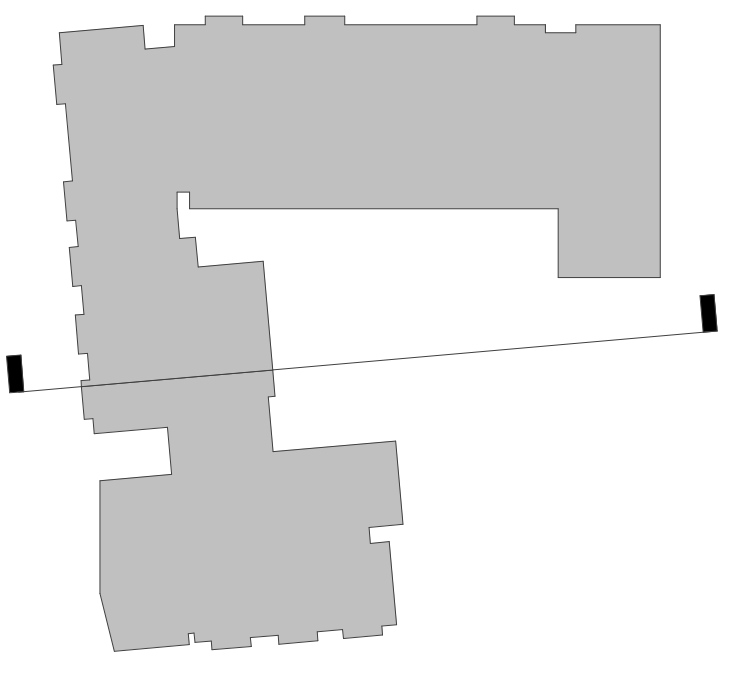


PROPOSED SECTION_LOOKING NORTH ②
1" = 10'-0"

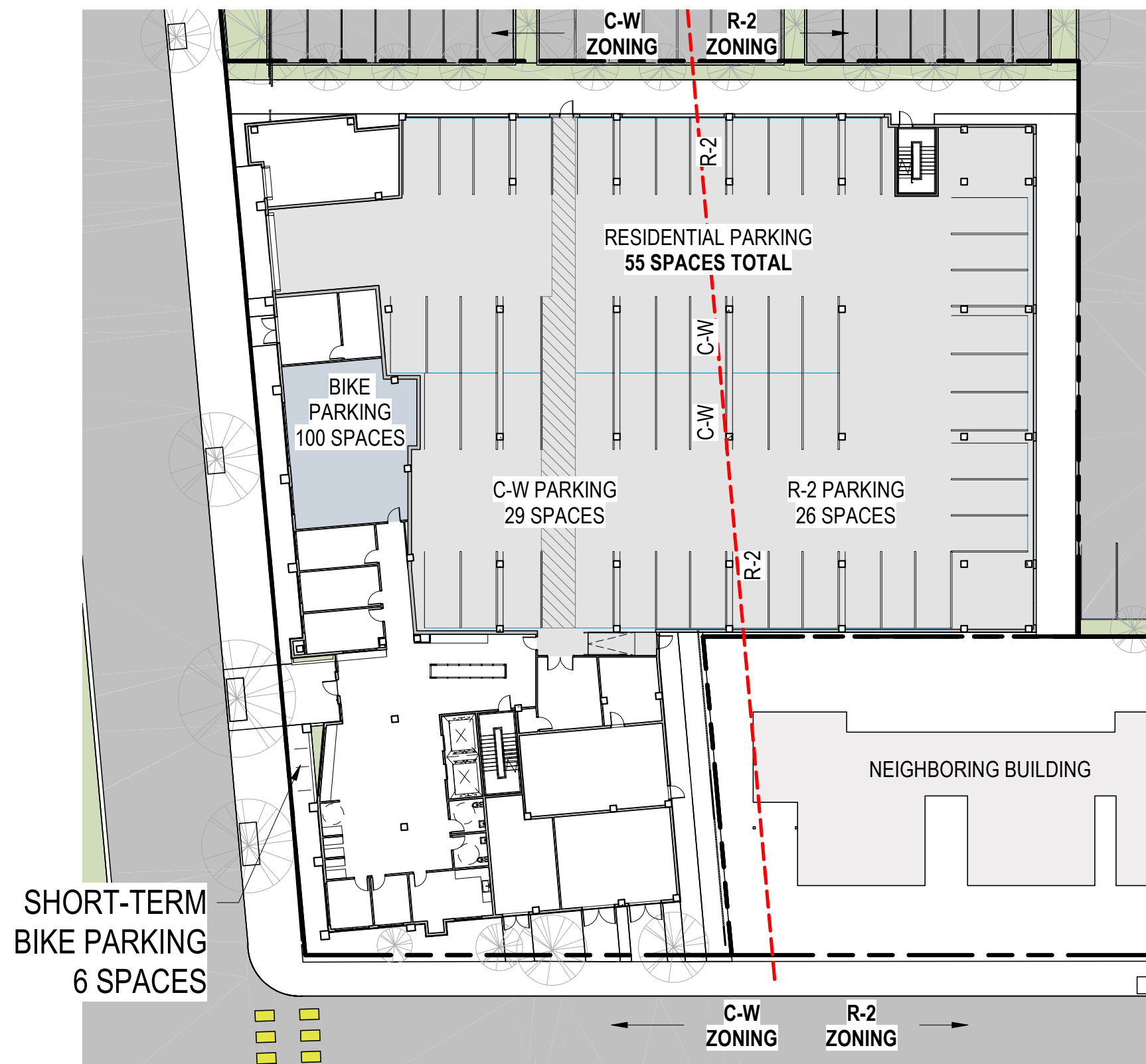
DENSITY BONUS KEY:

- OPEN SPACE
- BASE PROJECT RESIDENTIAL
- RELOCATED BASE PROJECT RESIDENTIAL
- DENSITY BONUS RESIDENTIAL
- GARAGE
- COMMERCIAL

SECTION KEY PLAN



BASE SCHEME SECTION_LOOKING NORTH ①
1" = 10'-0"



PROPOSED PARKING PLAN - LEVEL 1

C-W CAR PARKING REQUIREMENTS

REQUIRED: 0 SPACES
PROVIDED: 29 SPACES

R-2 CAR PARKING REQUIREMENTS

REQUIRED: 0 SPACES
PROVIDED: 26 SPACES

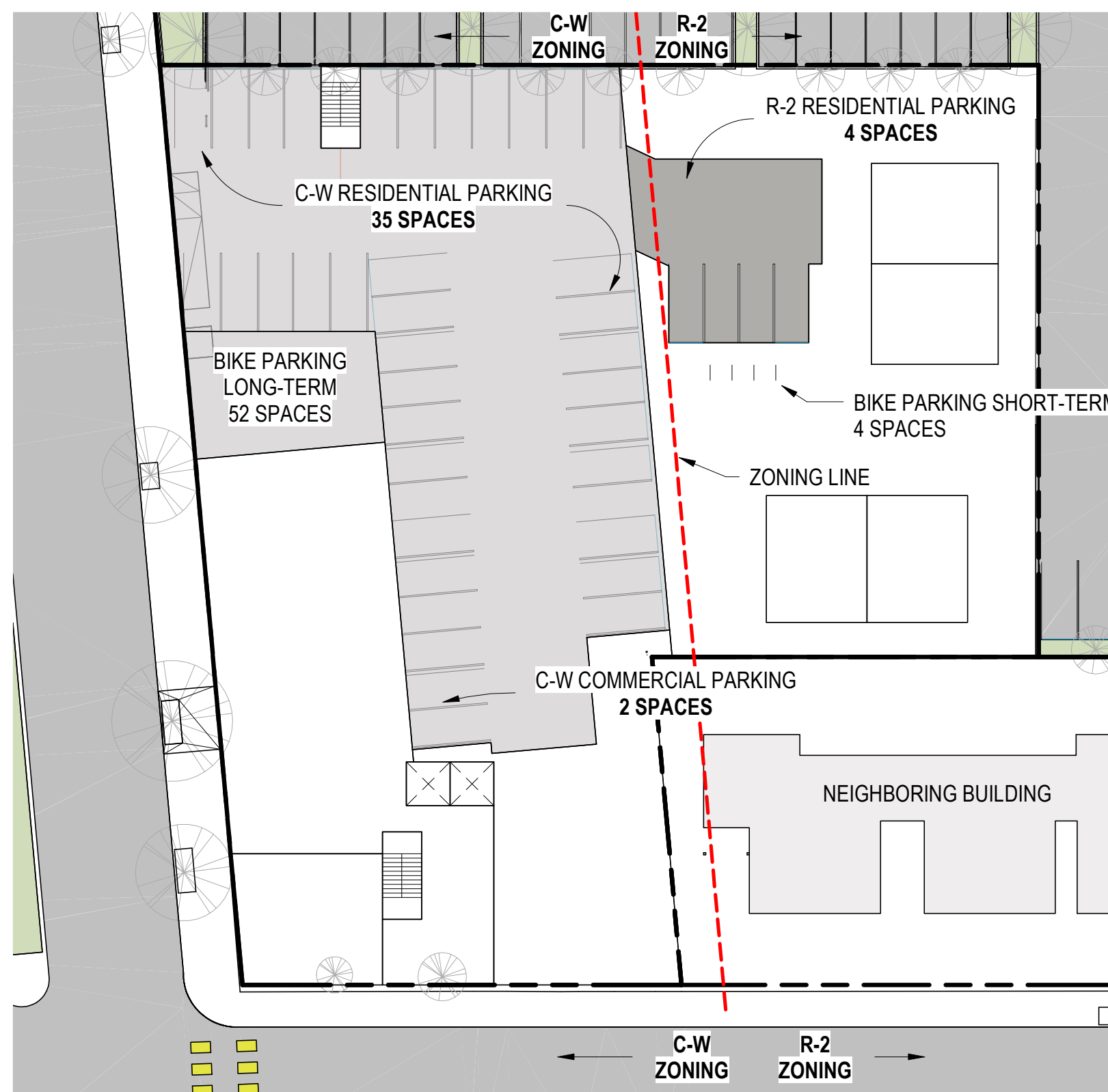
OVERALL PARKING REQUIREMENTS

REQUIRED: 0 SPACES
PROVIDED: 55 SPACES
110 UNITS X 0.5 SPACES PER UNIT = 55

BIKE PARKING REQUIREMENTS

LONG-TERM
REQUIRED: 63 SPACES
187 BEDROOMS @ 1 SPACE / 3 BEDROOMS = 63
PROVIDED: 100 SPACES

SHORT-TERM
REQUIRED: 5 SPACES
187 BEDROOMS @ 1 SPACE / 40 BEDROOMS = 5
PROVIDED: 5 SPACES



BASE SCHEME PARKING PLAN - LEVEL 1

C-W CAR PARKING REQUIREMENTS

REQUIRED COMMERCIAL PARKING: 2 SPACES
1,000 SF COMMERCIAL X 2 SPACES/1000 SF COMMERCIAL = 2
PROVIDED: 37 SPACES
69 UNITS X 0.5 SPACES PER UNIT = 35
1,000 SF COMMERCIAL X 2 SPACES/1000 SF COMMERCIAL = 2

R-2 CAR PARKING REQUIREMENTS

REQUIRED: 0 SPACES
PROVIDED: 4 SPACES

BIKE PARKING REQUIREMENTS

LONG-TERM
REQUIRED: 52 SPACES
129 BEDROOMS @ 1 SPACE / 2.5 BEDROOMS = 52
PROVIDED: 52 SPACES

SHORT-TERM
REQUIRED: 4 SPACES
129 BEDROOMS @ 1 SPACE / 40 BEDROOMS = 4
PROVIDED: 4 SPACES



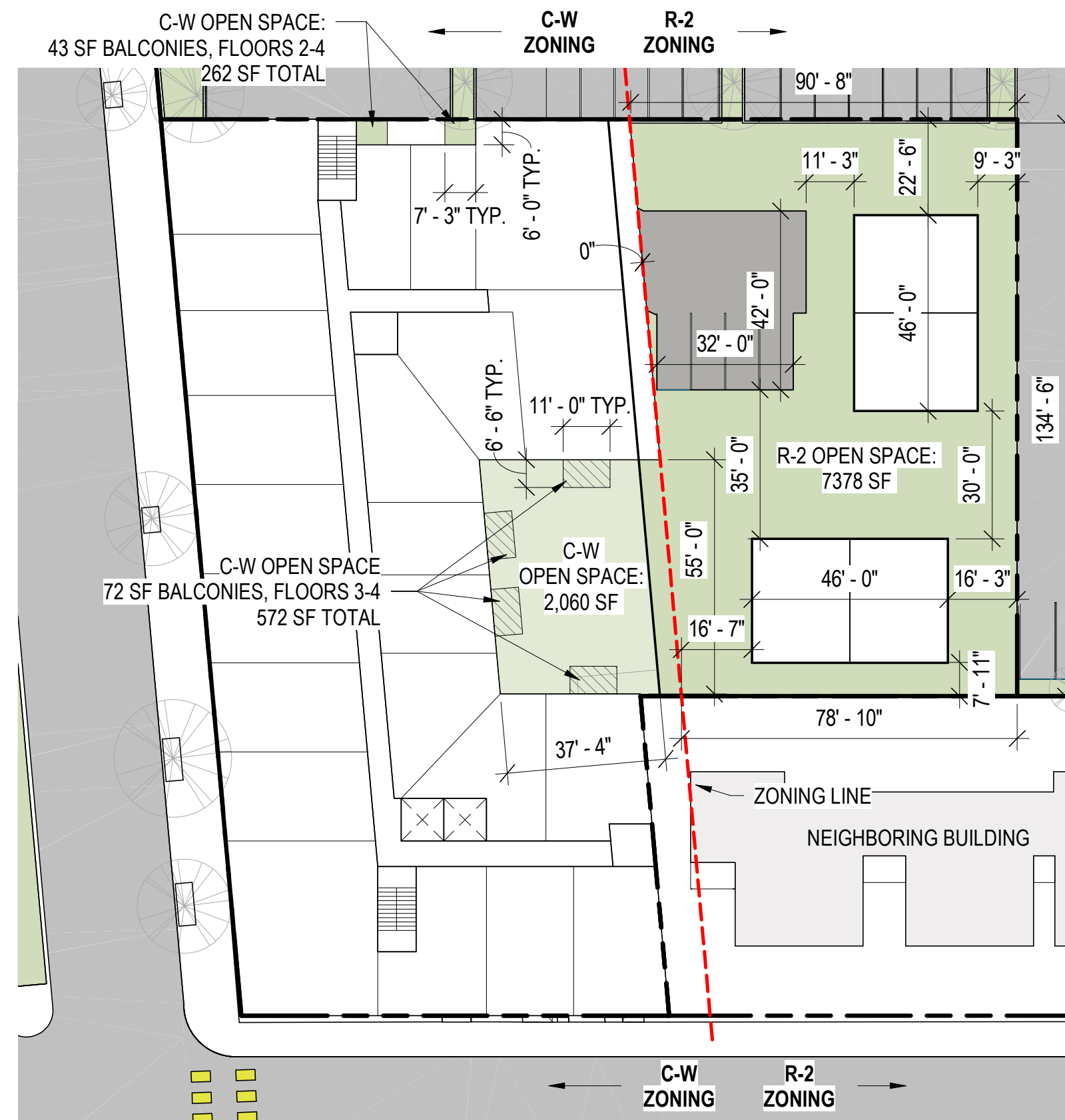
PROPOSED OPEN SPACE PLAN - LEVEL 2

C-W OPEN SPACE REQUIREMENTS

REQUIRED: 3,000 SF
75 UNITS X 40SF PER UNIT = 3,000 SF
PROVIDED: 4,050 SF
4,050 SF COURTYARD, NO BALCONIES

R-2 OPEN SPACE REQUIREMENTS

REQUIRED: 14,000 SF
35 UNITS X 400 SF PER UNIT = 14,000 SF
PROVIDED: 4,007 SF*
*WAIVER REQUESTED



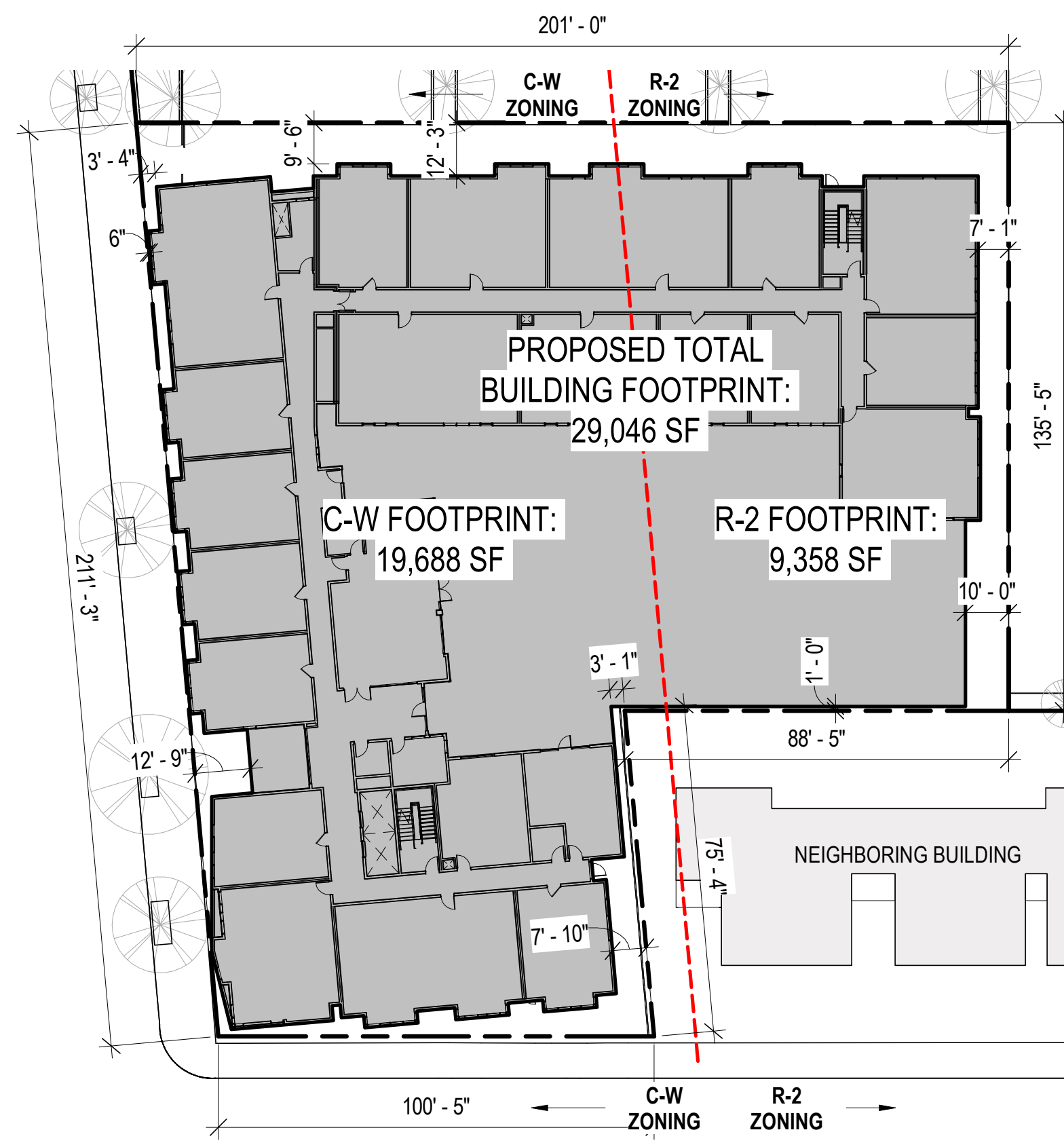
BASE SCHEME OPEN SPACE PLAN - LEVEL 2

C-W OPEN SPACE REQUIREMENTS

REQUIRED: 2,760 SF
69 UNITS X 40SF PER UNIT = 2,760 SF
PROVIDED: 2,894 SF
2,060 SF COURTYARD + 834 SF BALCONIES = 2,894 SF

R-2 OPEN SPACE REQUIREMENTS

REQUIRED: 1,600 SF
4 UNITS X 400 SF PER UNIT = 1,600 SF
PROVIDED: 7,294 SF



PROPOSED LOT COVERAGE PLAN - LEVEL 2

C-W LOT COVERAGE REQUIREMENTS

ALLOWED: 100%

PROVIDED: 86%

LOT SIZE: 22,426 SF
BUILDING FOOTPRINT: 19,688 SF

R-2 LOT COVERAGE REQUIREMENTS

ALLOWED: SEE WAIVER

PROVIDED: 81%

LOT SIZE: 11,494 SF
BUILDING FOOTPRINT: 9,358 SF



BASE SCHEME LOT COVERAGE PLAN - LEVEL 2

C-W LOT COVERAGE REQUIREMENTS

ALLOWED: 100%

PROVIDED: 99%

LOT SIZE: 22,426 SF
BUILDING FOOTPRINT: 22,146 SF

R-2 LOT COVERAGE REQUIREMENTS

ALLOWED: 45%

2 STORY BUILDING, CORNER LOT

PROVIDED: 23%

LOT SIZE: 11,494 SF
BUILDING FOOTPRINT: 2,668 SF



PROPOSED PLAN - LEVEL 1



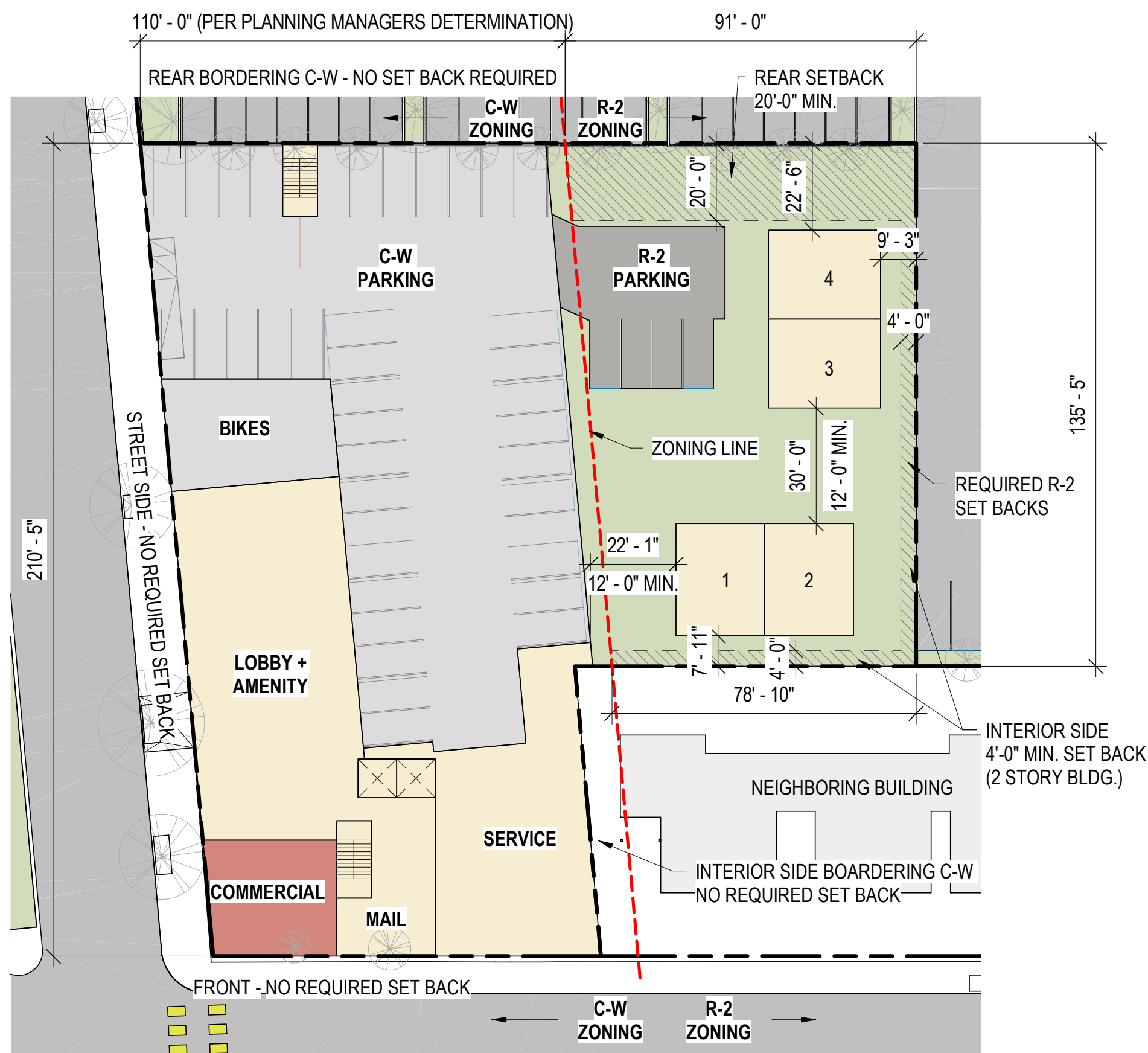
PROPOSED PLAN - LEVEL 2



PROPOSED PLAN - LEVEL 3

DENSITY BONUS KEY:

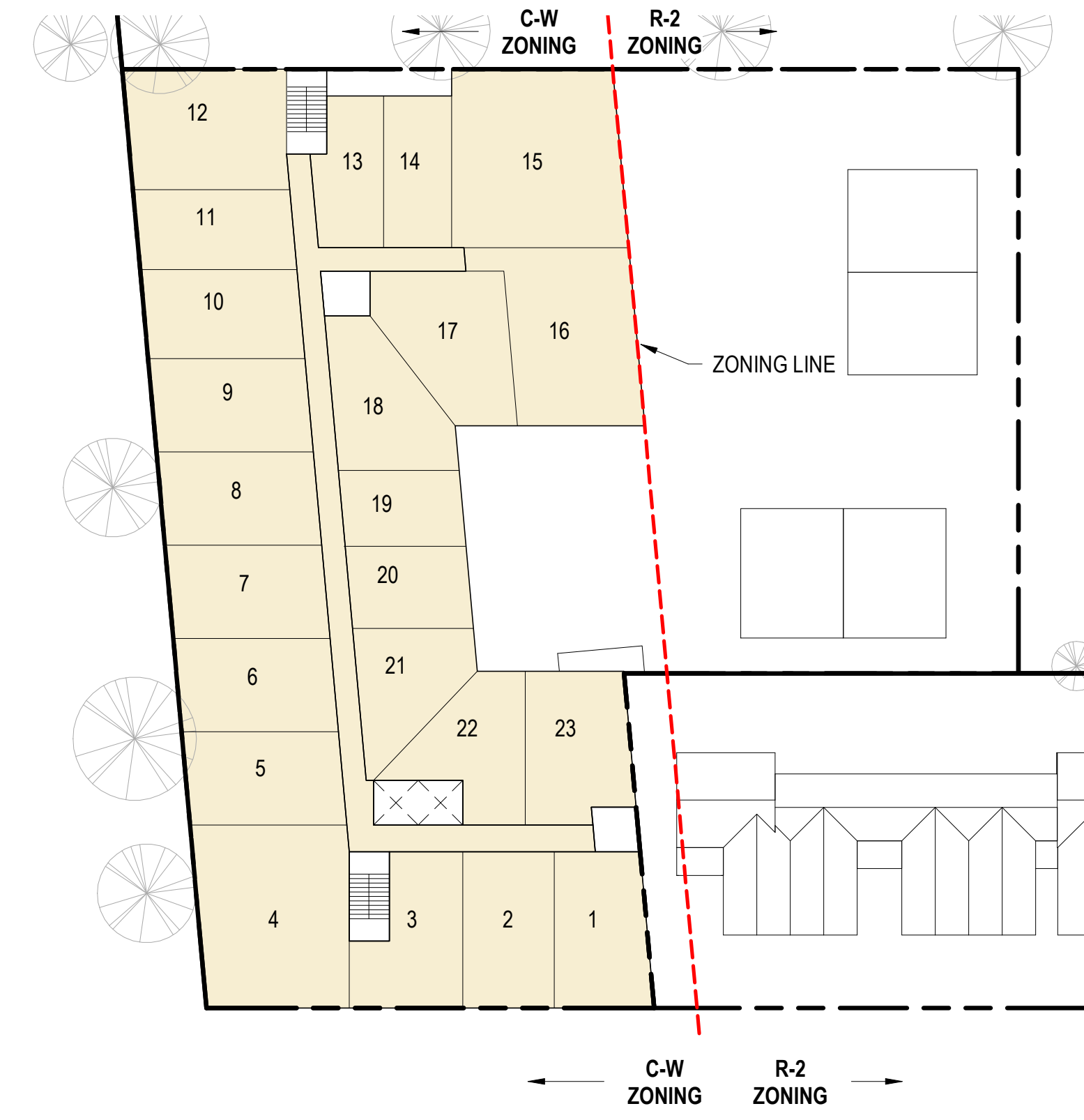
- OPEN SPACE
- BASE PROJECT RESIDENTIAL
- RELOCATED BASE PROJECT RESIDENTIAL
- DENSITY BONUS RESIDENTIAL
- GARAGE
- COMMERCIAL



BASE SCHEME PLAN - LEVEL 1



BASE SCHEME PLAN - LEVEL 2



BASE SCHEME PLAN - LEVEL 3



PROPOSED PLAN - LEVEL 4



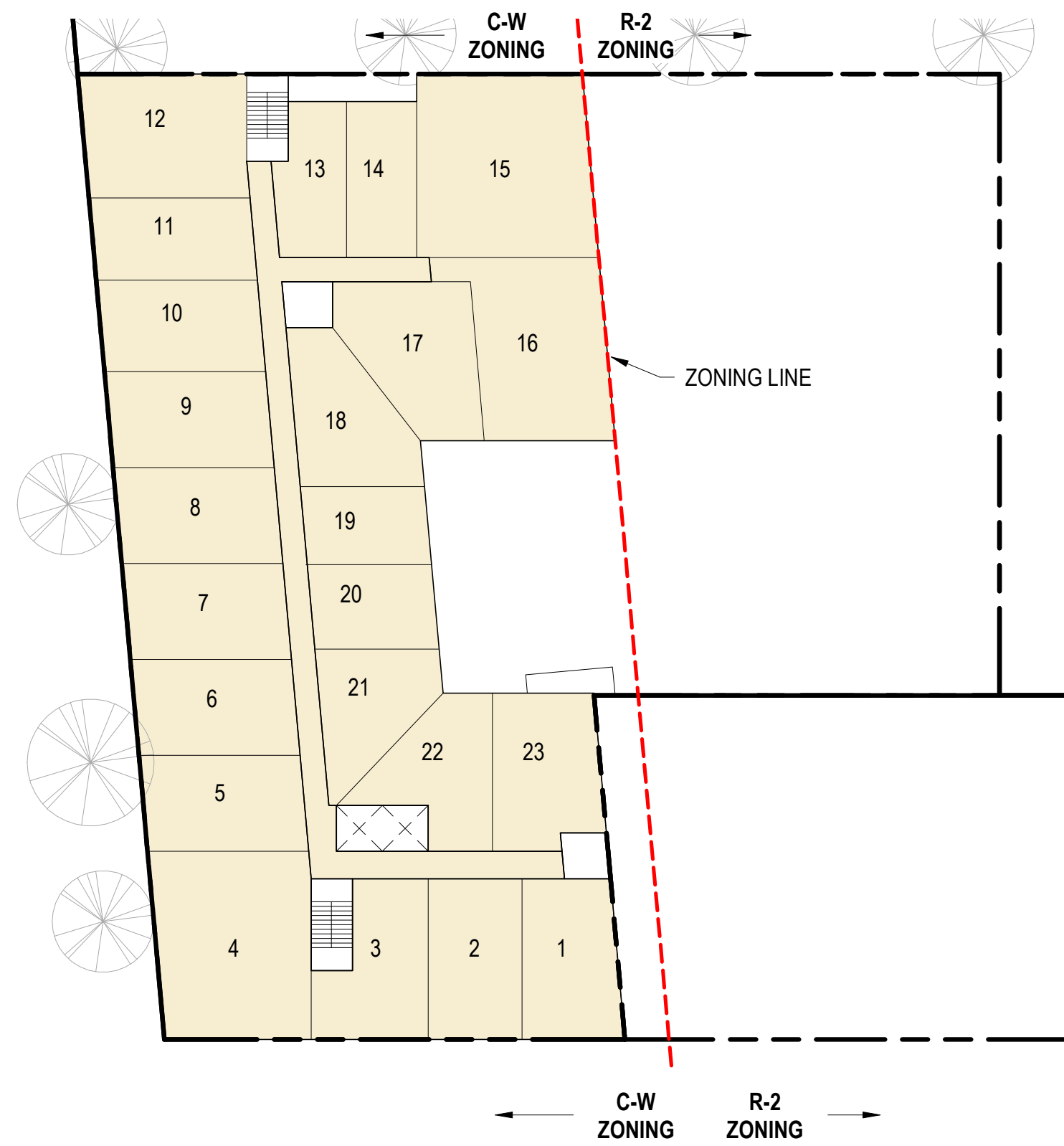
PROPOSED PLAN - LEVEL 5



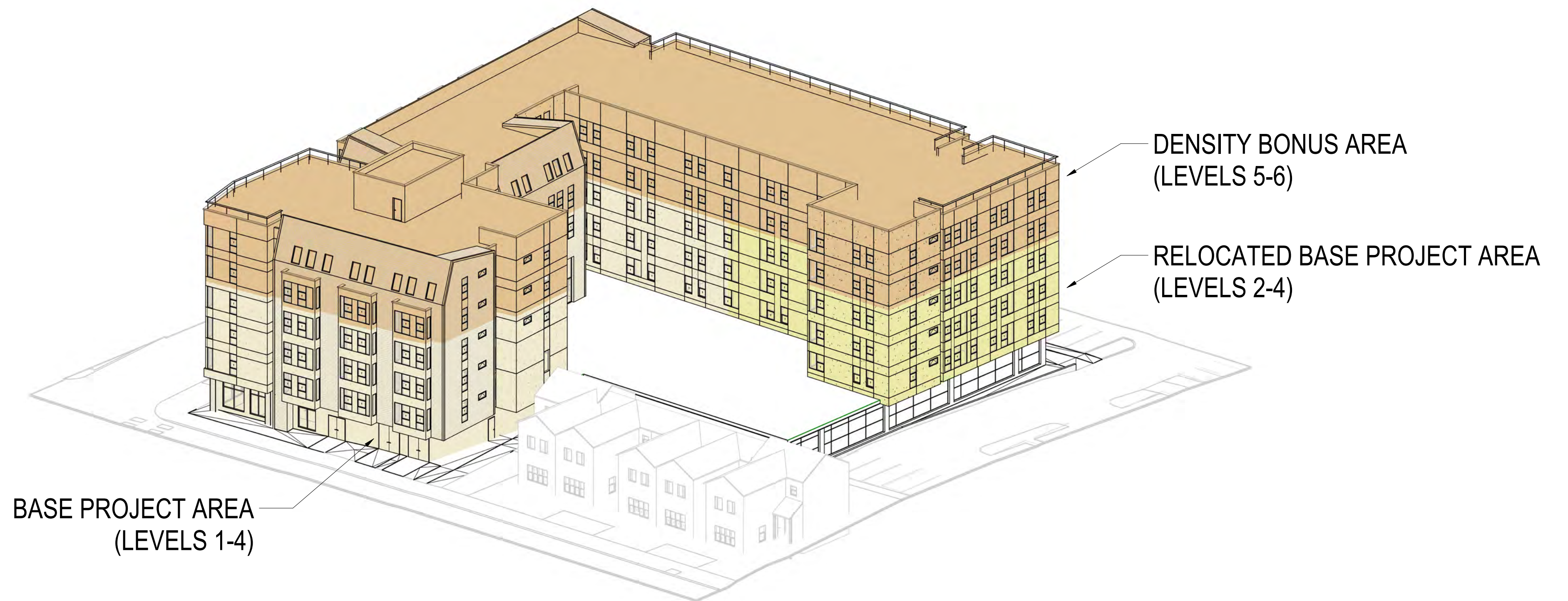
PROPOSED PLAN - LEVEL 6

DENSITY BONUS KEY:

- OPEN SPACE
- BASE PROJECT RESIDENTIAL
- RELOCATED BASE PROJECT RESIDENTIAL
- DENSITY BONUS RESIDENTIAL
- GARAGE
- COMMERCIAL



BASE SCHEME PLAN - LEVEL 4



BASE PROJECT AREA (LEVELS 1-4)

DENSITY BONUS AREA (LEVELS 5-6)

RELOCATED BASE PROJECT AREA (LEVELS 2-4)

DENSITY BONUS TABLE SUMMARY

BASE PROJECT	BASE # UNITS	BASE # UNITS	% BMR UNITS	# BMR UNITS	DENSITY BONUS %	# DB UNITS	TOTAL UNITS
RESIDENTIAL AREA (C-W & R-2)	AVG UNIT SIZE (GROSS)	BASE UNITS / MAX RESIDENTIAL DENSITY	BMR = BELOW MARKET RATE	% BMR x BASE # UNITS	BASED ON CALIFORNIA DENSITY BONUS LAW	DB% x BASE # UNITS	BASE UNITS + DB UNITS
C-W: 65,677 SF R-2: 5,336 SF Total: 71,013 SF	C-W: 951 SF R-2: N/A	C-W: 69 R-2: 4 Total: 73	100%	73 TOTAL 12 - ELI 20 - VLI 48 - LI	50%	37	110

BASE PROJECT		PROPOSED PROJECT	
FLOOR	RESIDENTIAL AREA	FLOOR	RESIDENTIAL AREA
1	10,659 SF	1	7,295 SF
2	22,034 SF	2	20,139 SF
3	19,160 SF	3	17,692 SF
4	19,160 SF	4	19,899 SF
5	0 SF	5	19,899 SF
6	0 SF	6	19,661 SF
TOTAL	71,013 SF	TOTAL	104,585 SF

PROPOSED AREA: 104,585 SF
 PROPOSED UNITS: 110
 AVERAGE UNIT SIZE: 951 SF

BASE PROJECT ZONING COMPLIANCE CHECKS

BASE PROJECT - FAR

C-W ZONE				
FLOOR	RESIDENTIAL AREA	COMMERCIAL AREA	TOTAL AREA	PARKING (NOT IN FAR)
1	7,991 SF	1,000 SF	8,991 SF	12,758 SF
2	19,366 SF	0 SF	19,366 SF	0 SF
3	19,160 SF	0 SF	19,160 SF	0 SF
4	19,160 SF	0 SF	19,160 SF	0 SF
TOTAL	65,677 SF	1,000 SF	66,677 SF	12,758 SF
SITE AREA			22,426 SF	
BASE PROJECT FAR			2.97	
MAX FAR			3.00	

R-2 ZONE
NO MAXIMUM FAR IN R-2 ZONE, NOT APPLICABLE

STEP BY STEP CALCULATION METHOD

1A. DETERMINE THE BASE PROJECT AREA	1B. DETERMINE THE PROPOSED PROJECT'S AVG. UNIT SIZE	1C. BASE PROJECT # OF UNITS
FIRST 7,991	FIRST 7,295	1A. BASE PROJECT FLOOR AREA (C-W) 65,677
SECOND 19,366	SECOND 20,139	1B. PROPOSED PROJECT AVG. UNIT SIZE* 951
THIRD 19,160	THIRD 17,692	1C. BASE PROJECT TOTAL # OF UNITS C-W UNITS: 69 R-2 UNITS: 4
FOURTH 19,160	FOURTH 19,899	3.1. NUMBER OF AFFORDABLE UNITS** % OF AFFORDABLE UNITS: 100%
FIFTH 0	FIFTH 19,899	3.2. % GRANTED FOR DENSITY BONUS 50%
SIXTH 0	SIXTH 19,661	3.3 # OF DENSITY BONUS UNITS ALLOWED 37
1A. BASE PROJECT RESIDENTIAL FLOOR AREA (C-W) 65,677	PROPOSED PROJECT RESIDENTIAL FLOOR AREA 104,585	3.3. # OF DENSITY DONUS UNITS PROPOSED 37
	PROPOSED PROJECT # OF UNITS 110	
	1B. PROPOSED PROJECT'S GROSS AVG. UNIT SIZE* 951	

* SEE A4.01 FOR INDIVIDUAL UNIT SIZES
 ** SEE PROPOSED UNIT MIX TABLE FOR MORE INFO

BASE PROJECT - OPEN SPACE (SEE G1.01 FOR MORE INFO)

C-W ZONE			
# OF UNITS	OPEN SPACE PER UNIT REQUIRED	OPEN SPACE REQUIRED	OPEN SPACE PROVIDED
69	40 SF / UNIT	2,760 SF	2,894 SF

R-2 ZONE			
# OF UNITS	OPEN SPACE PER UNIT REQUIRED	OPEN SPACE REQUIRED	OPEN SPACE PROVIDED
4	400 SF / UNIT	1,600 SF	7,294 SF

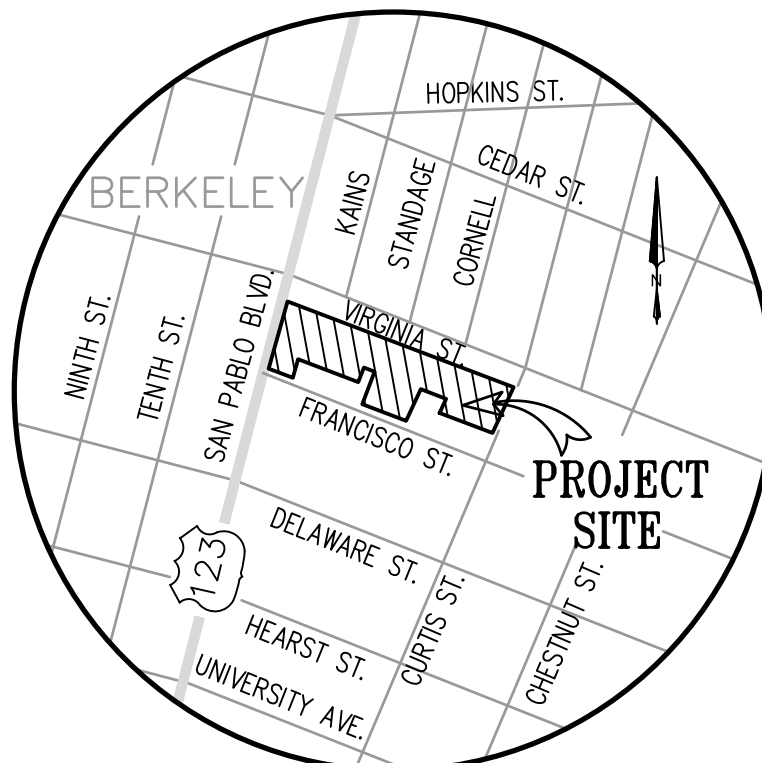
BASE PROJECT - CAR PARKING (SEE G1.01 FOR MORE INFO)

C-W ZONE						
RESIDENTIAL			COMMERCIAL		TOTAL	
# OF UNITS	MAX. SPACES PER UNIT	MAX. SPACES	AREA	MIN. SPACES	MIN. SPACES	PROVIDED
69	0.5 / UNIT	35	1000 SF	2 / 1000 SF	2	37

R-2 ZONE
NO PARKING REQUIRED FOR R-2 ZONE, 1:1 SPACES PROVIDED (4 SPACES FOR 4 UNITS)

PROPOSED UNIT MIX TABLE

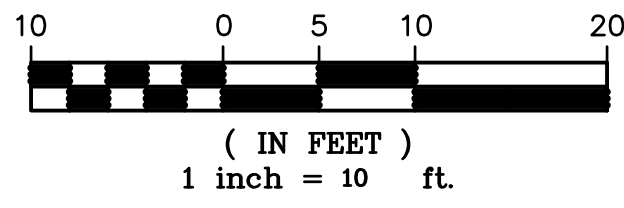
UNIT TYPE	AREA MEDIAN INCOME AFFORDABILITY						MANAGER	TOTAL
	30%	50%	60%	80%	100%	120%		
STUDIO	0	0	0	0	0	0	0	0
1 BEDROOM	6	13	14	11	7	8	0	59
2 BEDROOM	3	3	6	6	4	3	0	25
3 BEDROOM	3	4	6	5	3	4	1	26
# TOTAL UNITS	12	20	26	22	14	15	1	110
% OF TOTAL	11%	18%	24%	20%	13%	14%	1%	100%



VICINITY MAP

NOT TO SCALE

GRAPHIC SCALE



NOTES

- EASEMENTS AND/OR RIGHTS OF WAY ARE SHOWN HEREON PER THE PTR. OTHER EASEMENTS AND/OR RIGHTS OF WAY OF RECORD, IF ANY, ARE NOT SHOWN HEREON.
- DATE OF FIELD SURVEY: AUGUST 21, 2019 AND MARCH 3, 2022 AS TO THE BOUNDARY AND TOPOGRAPHIC SURVEY OF THE SUBJECT PROPERTY.
- THE UTILITIES SHOWN HEREON ARE BY SURFACE OBSERVATION AND RECORD INFORMATION ONLY AND NO WARRANTY IS GIVEN HEREIN AS TO THEIR EXACT LOCATION. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR CONTRACTOR TO VERIFY THE EXACT LOCATION OF THE UTILITIES WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY.
- UTILITY JURISDICTIONS / PROVIDERS ARE AS FOLLOWS:
 STORM DRAINS: CITY OF BERKELEY
 SANITARY SEWER: CITY OF BERKELEY
 WATER: EAST BAY MUNICIPAL UTILITY DISTRICT (EBMUD)
 ELECTRICITY: PACIFIC GAS & ELECTRIC CO.
 NATURAL GAS: PACIFIC GAS & ELECTRIC CO.

BASIS OF BEARINGS

THE BEARING FROM THE FOUND CITY MONUMENT AT THE INTERSECTION OF FRANCISCO STREET AND CURTIS STREET TO THE FOUND CITY MONUMENT AT THE INTERSECTION OF FRANCISCO STREET AND SAN PABLO AVENUE, WAS TAKEN AS: SOUTH 80°30'29" WEST, AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK

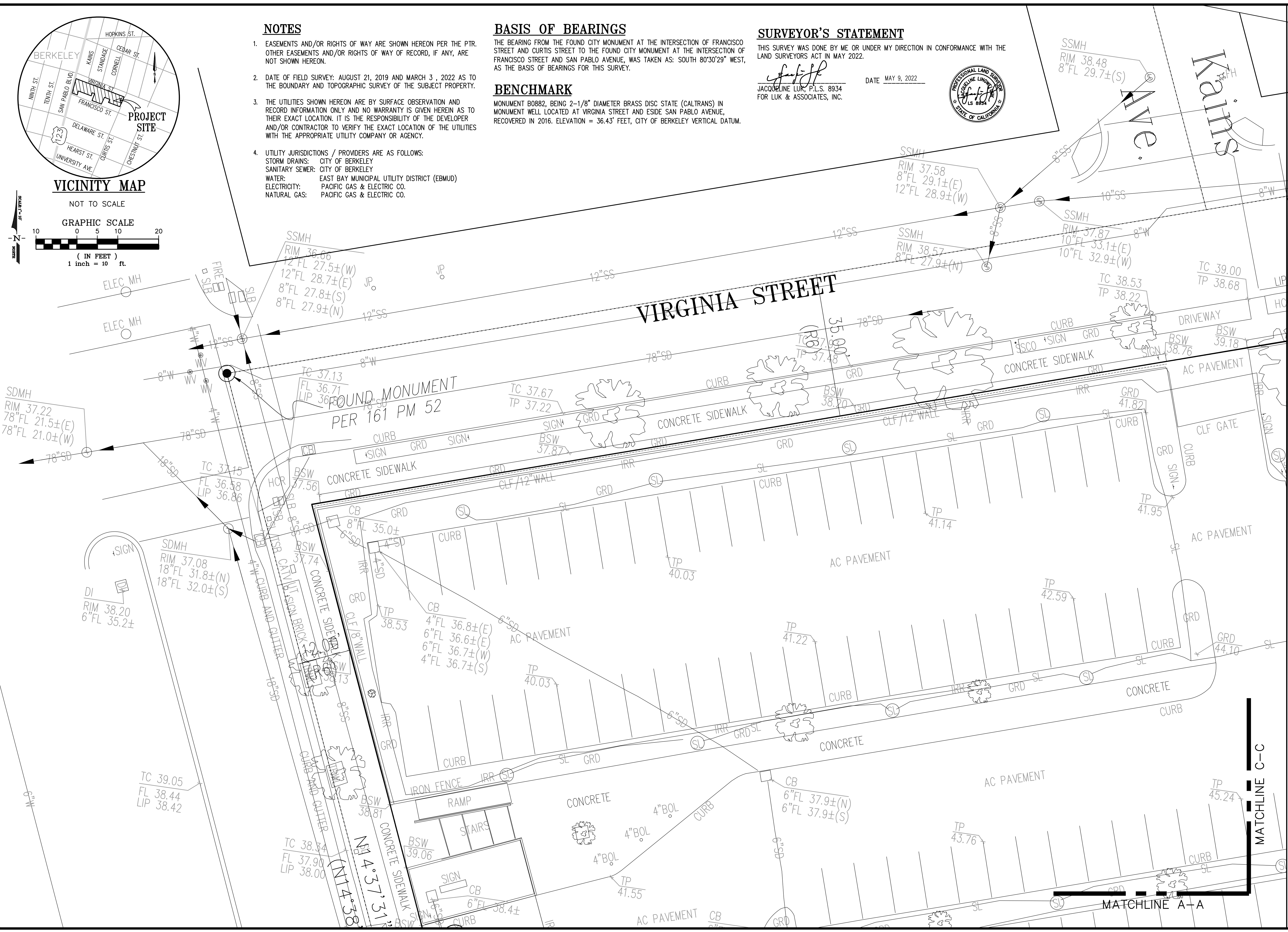
MONUMENT B0882, BEING 2-1/8" DIAMETER BRASS DISC STATE (CALTRANS) IN MONUMENT WELL LOCATED AT VIRGINIA STREET AND ESIDE SAN PABLO AVENUE, RECOVERED IN 2016. ELEVATION = 36.43' FEET, CITY OF BERKELEY VERTICAL DATUM.

SURVEYOR'S STATEMENT

THIS SURVEY WAS DONE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE LAND SURVEYORS ACT IN MAY 2022.

Jacqueline Luk
 JACQUELINE LUK, P.L.S. 8934
 FOR LUK & ASSOCIATES, INC.

DATE MAY 9, 2022



Luk and Associates
 Civil Engineering
 Land Planning
 Land Surveying
 738 Alfred Nobel Drive
 Hercules, CA 94547
 Phone (510) 724-3388
 Fax (510) 724-3383



BUSD Workforce Housing
 1701 SAN PABLO AVE.
 BERKELEY, CA 94702

ISSUE/REVISIONS

NO.	DATE	DESCRIPTION
08/23/22	SB-35	SUBMITTAL

Title: TOPOGRAPHIC SURVEY

Date: AUGUST 2022

Scale: 1" = 10'

Drawn By: C.W.

Checked By: J.L.

Job No.: 19157A10

Drawing No.: MASTER-19157A10

Plot Date: 2022-11-30

Sheet No.:

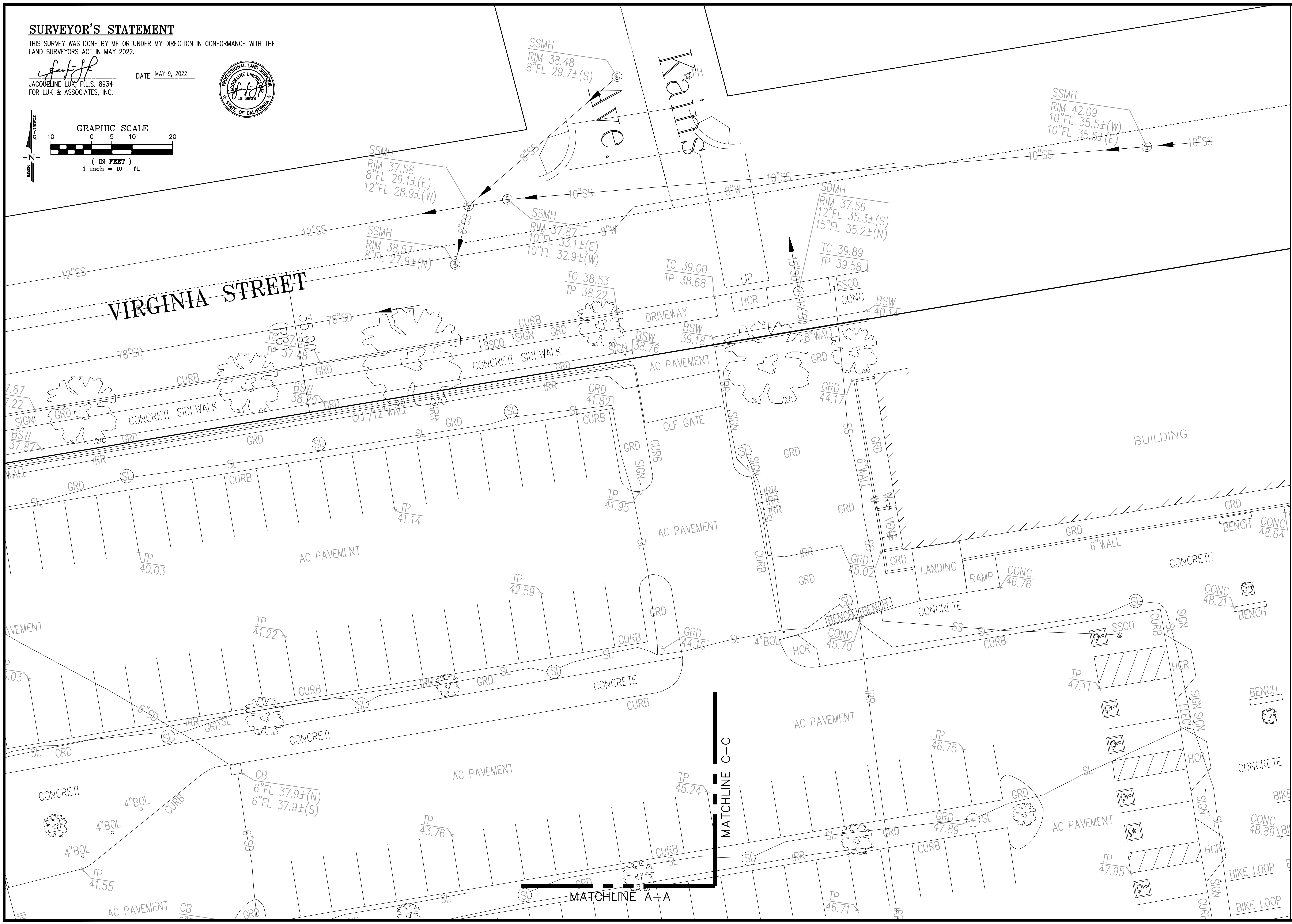
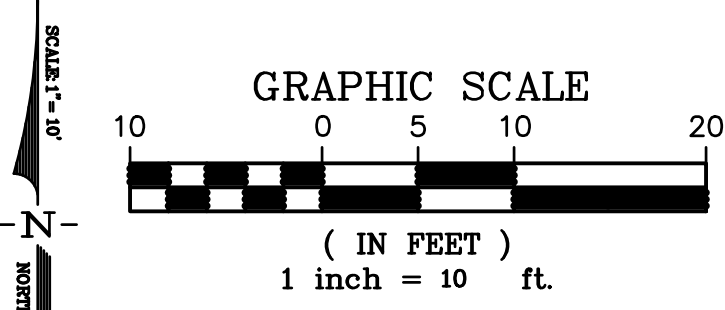
C-3.0.1

SURVEYOR'S STATEMENT

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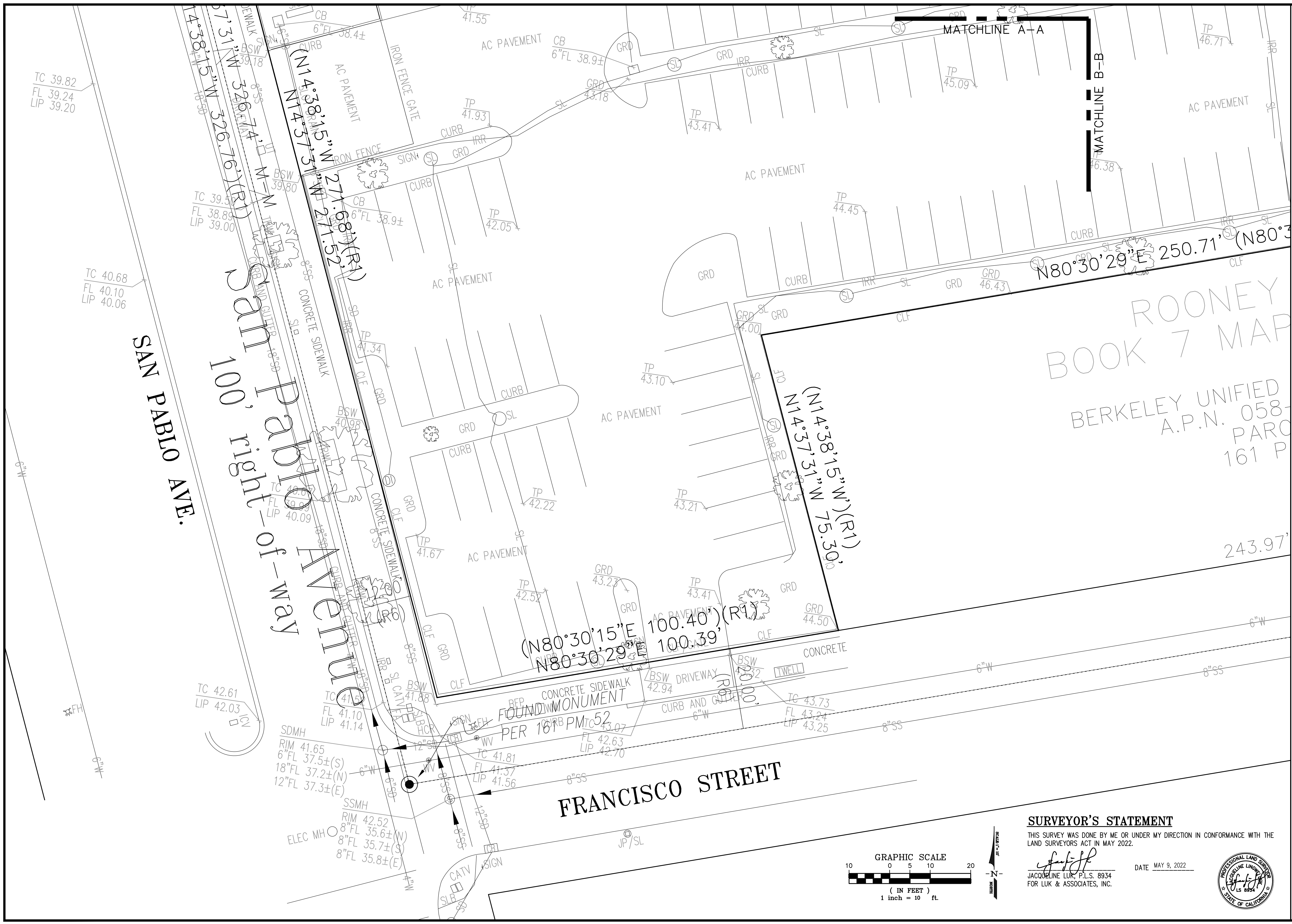


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Job No.: 19157A10
Drawing No.: MASTER-19157A10
Plot Date: 2022-11-30
Sheet No.:

C-3.0.2



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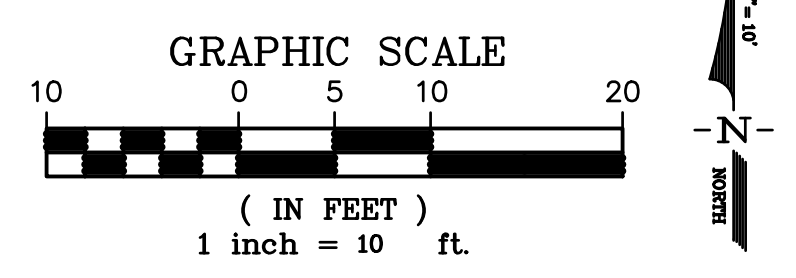
Title: **TOPOGRAPHIC SURVEY**
 Date: **AUGUST 2022**
 Scale: **1" = 10'**
 Drawn By: **C.W.**
 Checked By: **J.L.**
 Job No.: **19157A10**
 Drawing No.: **MASTER-19157A10**
 Plot Date: **2022-11-30**
 Sheet No.: **C-3.0.3**

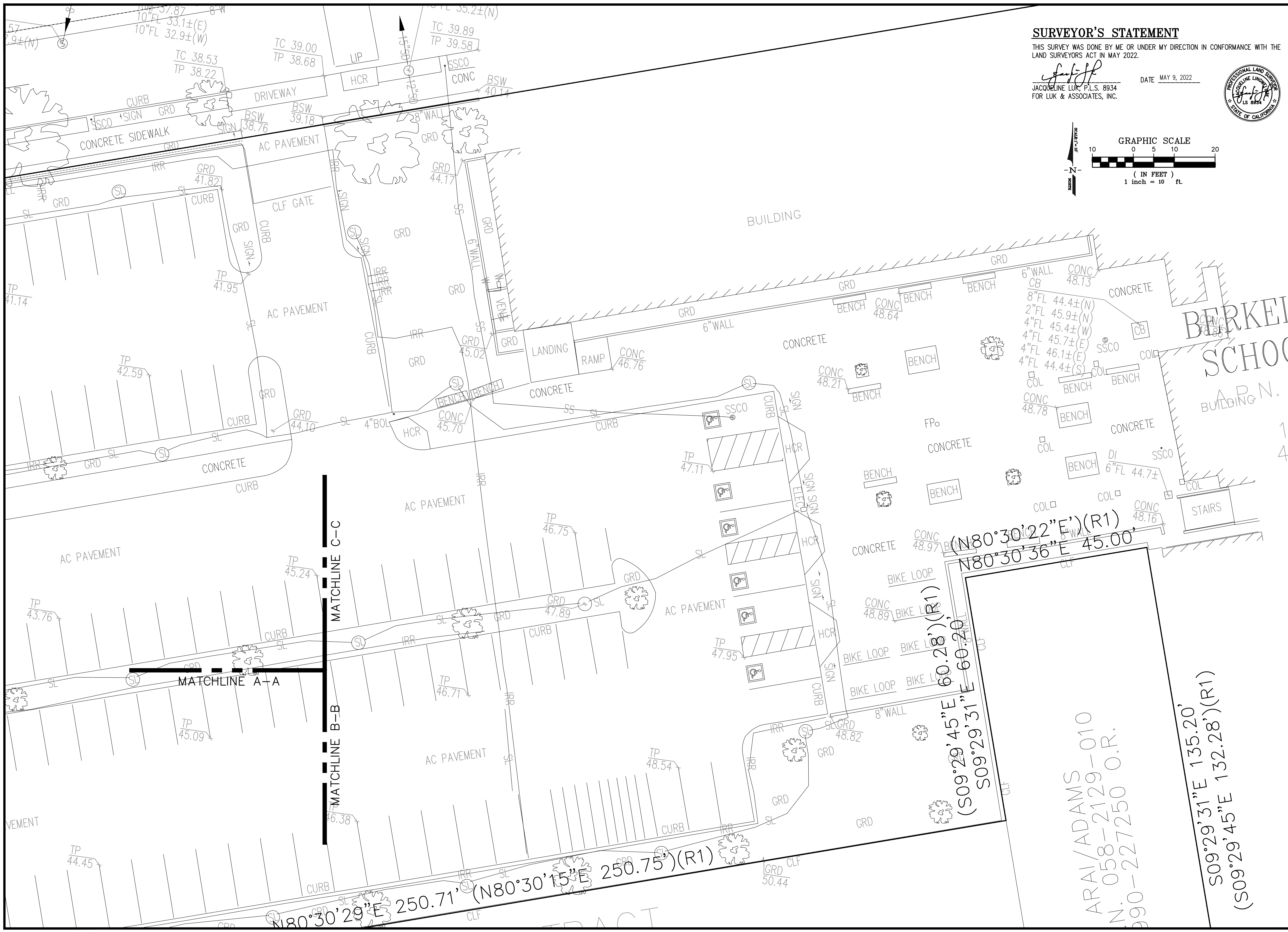
SURVEYOR'S STATEMENT

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Jacqueline Luk
 JACQUELINE LUK, P.L.S. 8934
 FOR LUK & ASSOCIATES, INC.

DATE **MAY 9, 2022**



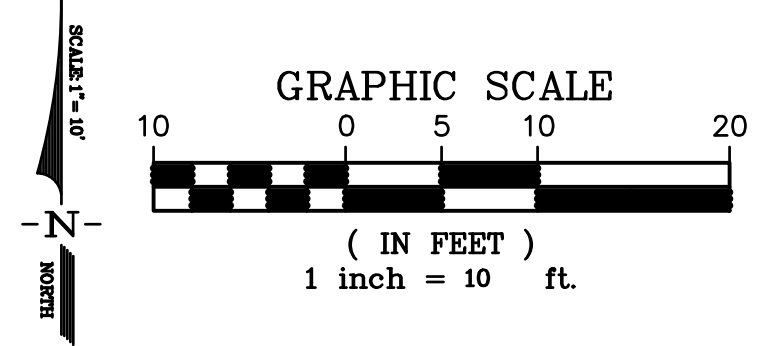


SURVEYOR'S STATEMENT

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DATE MAY 9, 2022



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Seal:



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Date:	AUGUST 2022
Scale:	1" = 10'
Drawn By:	C.W.
Checked By:	J.L.
Job No.:	19157A10
Drawing No.:	MASTER-19157A10
Plot Date:	2022-11-30
Sheet No.:	C-3.0.4

ARAI/ADAMS
 N. 058-2129-010
 090-227250 O.R.
 (S09°29'45"E 135.20'
 (S09°29'31"E 132.28')(R1)

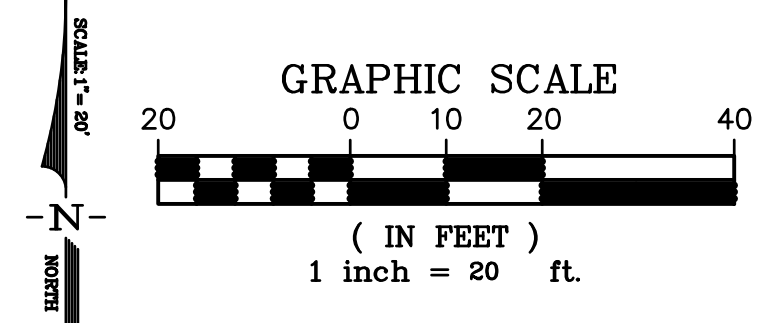
(N80°30'22"E)(R1)
 (N80°30'36"E 45.00'

(S09°29'45"E 60.28')(R1)
 (S09°29'31"E 60.20'

(N80°30'15"E 250.75')(R1)
 (N80°30'29"E 250.71'



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EARTHWORK NOTES:

ANALYSIS PERFORMED:
 DATE: 10/17/2022
 (PRELIMINARY ESTIMATE)

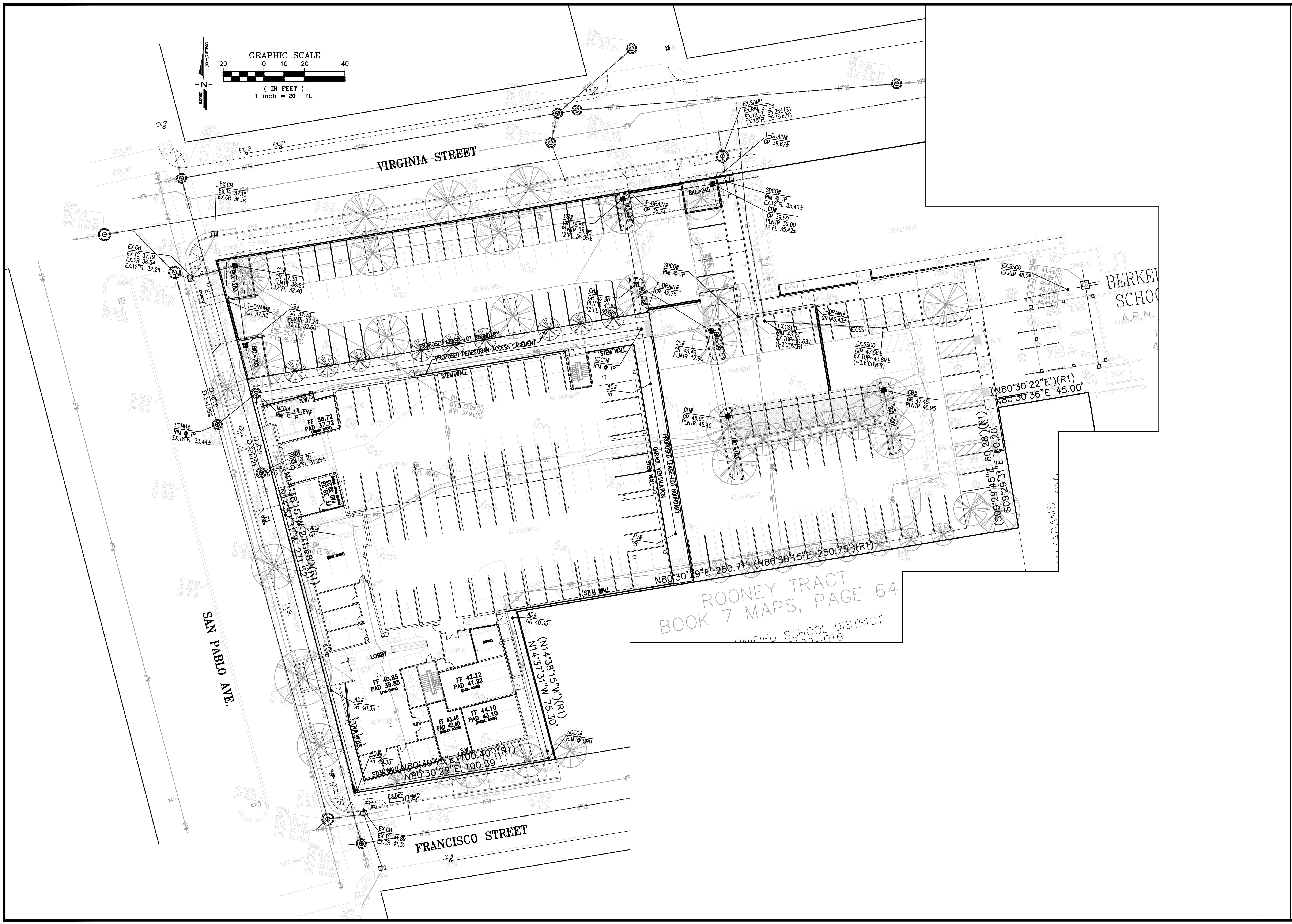
EARTHWORK QUANTITIES:
 GROSS CUT = 5,190 CY
 GROSS FILL = 0 CY
 NET CUT = 5,190 CY

1. CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING INDEPENDENT QUANTITY ANALYSIS PRIOR TO BIDDING.
2. ANALYSIS DOES NOT ACCOUNT FOR TRENCH SPOILS, FOOTINGS, BIORETENTION FACILITIES, OR SOIL-MITIGATION/OVER-EXCAVATION WORK.
3. GARAGE FOUNDATION AND PARKING-LOT PAVEMENT SECTIONS ASSUMED TO BE 12" THICK.

ROONEY TRACT
 BOOK 7 MAPS, PAGE 64
 UNIFIED SCHOOL DISTRICT
 122-016

ISSUE/REVISIONS		
NO.	DATE	DESCRIPTION
08/23/22		SB-35 SUBMITTAL

Title:	GRADING PLAN: ELEVATIONS
Date:	AUGUST 2022
Scale:	1" = 10'
Drawn By:	C.W.
Checked By:	J.L.
Job No.:	19157A10
Drawing No.:	MASTER-19157A10
Plot Date:	2022-11-30
Sheet No.:	C-4.1



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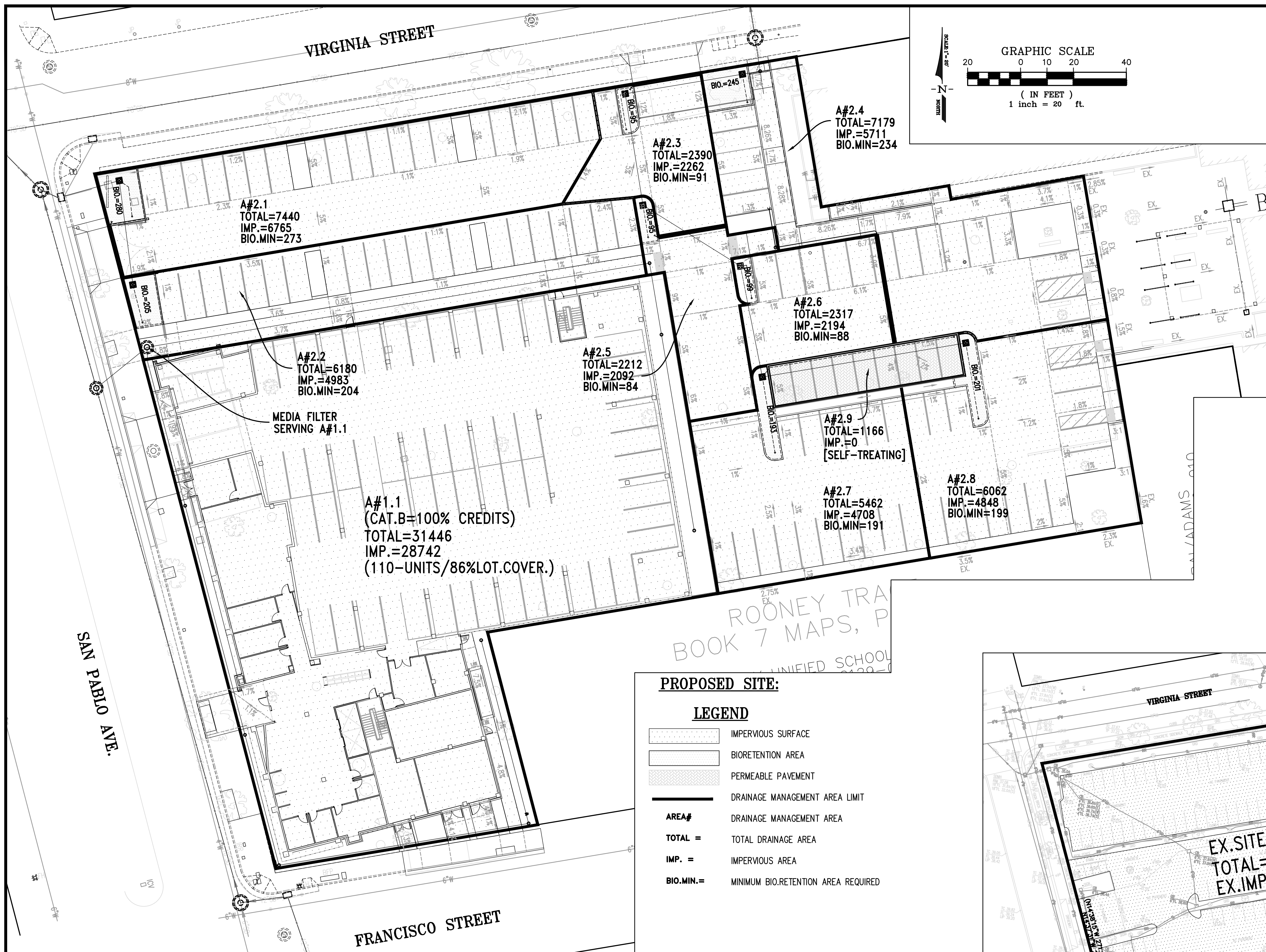


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ISSUE/REVISIONS	
NO.	DESCRIPTION
08/23/22	SB-35 SUBMITTAL

Title:
 UTILITY PLAN:
 Date: AUGUST 2022
 Scale: 1" = 10'
 Drawn By: C.W.
 Checked By: J.L.
 Job No.: 19157A10
 Drawing No.: MASTER-19157A10
 Plot Date: 2022-11-30
 Sheet No.:

C-5.1



STORM TREATMENT NOTES:

PER ALAMEDA COUNTY CLEAN WATER PROGRAM PUBLICATION: "C.3 STORMWATER TECHNICAL GUIDANCE" DATED FEBRUARY 8, 2021.

1) HYDRO-MODIFICATION & STORM TREATMENT:
TWO PROJECT SITES (LOT LINE ADJUSTMENT):

THE PROJECT SITE WOULD CREATE TWO PROPERTIES:

HOUSING SITE: THIS SITE WOULD CREATE BETWEEN 10,000 SF AND 1-ACRE OF IMPERVIOUS SURFACE AREA (FOR THE PROPOSED PRIVATE PROPERTY). THIS PROJECT WILL BE REQUIRED TO SUBMIT A STORMWATER CONTROL PLAN AND INCLUDE LID MEASURES CONSISTENT WITH SIZING FACTORS AND CRITERIA FOR "TREATMENT ONLY". THIS SITE PROPOSES LESS THAN 1-ACRE OF IMPERVIOUS SURFACES ON THE SITE AND IS NOT IN A HYDROMODIFICATION SUSCEPTIBILITY AREA (HARDENED CHANNELS). THEREFORE, HYDROMODIFICATION (FLOW CONTROL) IS NOT A REQUIREMENT PER THE GUIDEBOOK. THIS SITE QUALIFIES AS SPECIAL-PROJECT (CATEGORY-B [100% CREDITS]) AND MAY UTILIZE MEDIA FILTER TREATMENT METHODS.

PARKING SITE: THIS SITE WOULD CREATE BETWEEN 10,000 SF AND 1-ACRE OF IMPERVIOUS SURFACE AREA (FOR THE PROPOSED PRIVATE PROPERTY). THIS PROJECT WILL BE REQUIRED TO SUBMIT A STORMWATER CONTROL PLAN AND INCLUDE LID MEASURES CONSISTENT WITH SIZING FACTORS AND CRITERIA FOR "TREATMENT ONLY". THIS SITE PROPOSES LESS THAN 1-ACRE OF IMPERVIOUS SURFACES ON THE SITE AND IS NOT IN A HYDROMODIFICATION SUSCEPTIBILITY AREA (HARDENED CHANNELS). THEREFORE, HYDROMODIFICATION (FLOW CONTROL) IS NOT A REQUIREMENT PER THE GUIDEBOOK. THIS SITE DOES NOT QUALIFY AS SPECIAL-PROJECT.

2) THE PROJECT SITE IS DELINEATED INTO THE MANAGEMENT AREAS SHOWN ON THE CHART ON THIS SHEET.
3) FOR GROUP D NATIVE SOIL, THE TREATMENT METHOD IS CHOSEN TO BE BIORETENTION FACILITY.

A = CONFIGURATION OF AREA
V1 = SURFACE RESERVOIR VOLUME
V2 = SUB-SURFACE RESERVOIR VOLUME

CRITERIA APPLY TO BIORETENTION FACILITY (FOR TREATMENT AND FLOW CONTROL):

- SIZING FACTOR (SF) = 4% OF IMPERVIOUS AREA
- SURFACE RESERVOIR DEPTH = 6 INCHES
- SOIL MIX DEPTH = 18 INCHES (5 IN/HR MINIMUM SUSTAINED)
- UNDERDRAIN = 4 INCHES PVC PIPE MINIMUM

4) FOR SELF-RETAINING AREAS, THE RATIO OF IMPERVIOUS TO PEROVIOUS AREA SHALL BE LESS THAN OR EQUAL TO 2:1 (TREATMENT ONLY) OR 1:1 (TREATMENT & FLOW CONTROL). SELF-RETAINING AREAS SHALL CAPTURE AND FLOW CONTROL A 1" PRECIPITATION DEPTH PER COUNTY DESIGN STANDARDS*.

5) FOR SELF-TREATING AREAS, THE PERCENTAGE OF IMPERVIOUS AREA MUST BE LESS THAN 5% PER COUNTY DESIGN STANDARDS*.

PROPOSED SITE:

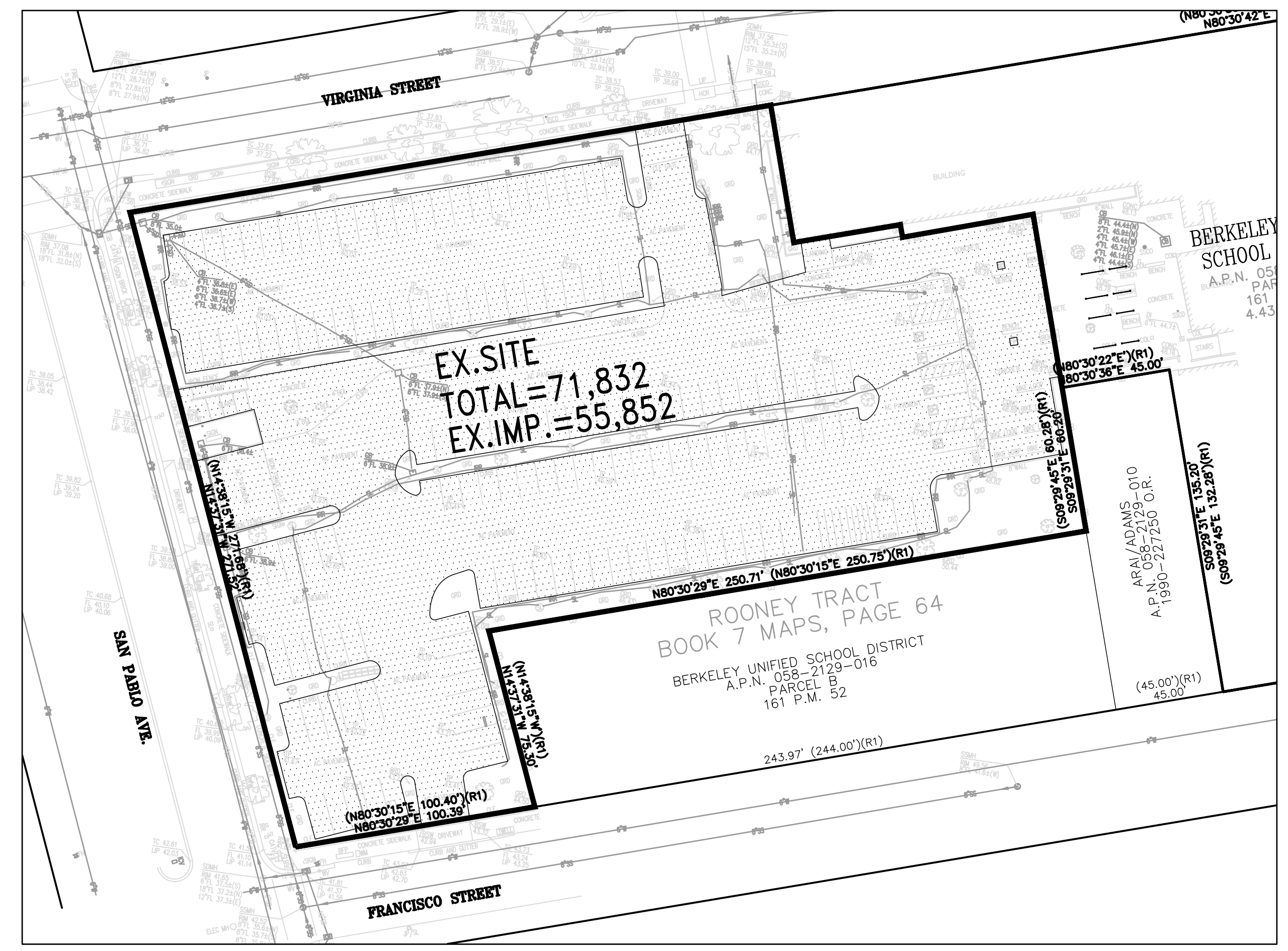
LEGEND

- IMPERVIOUS SURFACE
- BIORETENTION AREA
- PERMEABLE PAVEMENT
- DRAINAGE MANAGEMENT AREA LIMIT
- AREA#** DRAINAGE MANAGEMENT AREA
- TOTAL =** TOTAL DRAINAGE AREA
- IMP. =** IMPERVIOUS AREA
- BIO.MIN.=** MINIMUM BIO.RETENTION AREA REQUIRED

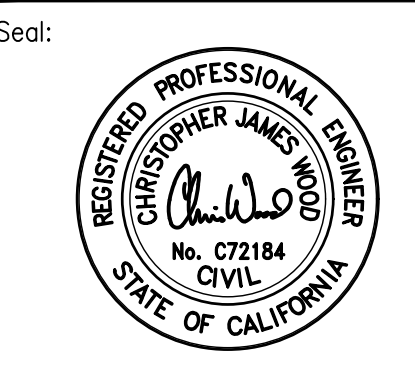
EXISTING SITE:

LEGEND

- EXISTING IMPERVIOUS SURFACE
- IMPROVEMENT BOUNDARY LIMIT
- TOTAL =** TOTAL DRAINAGE AREA
- IMP. =** IMPERVIOUS AREA



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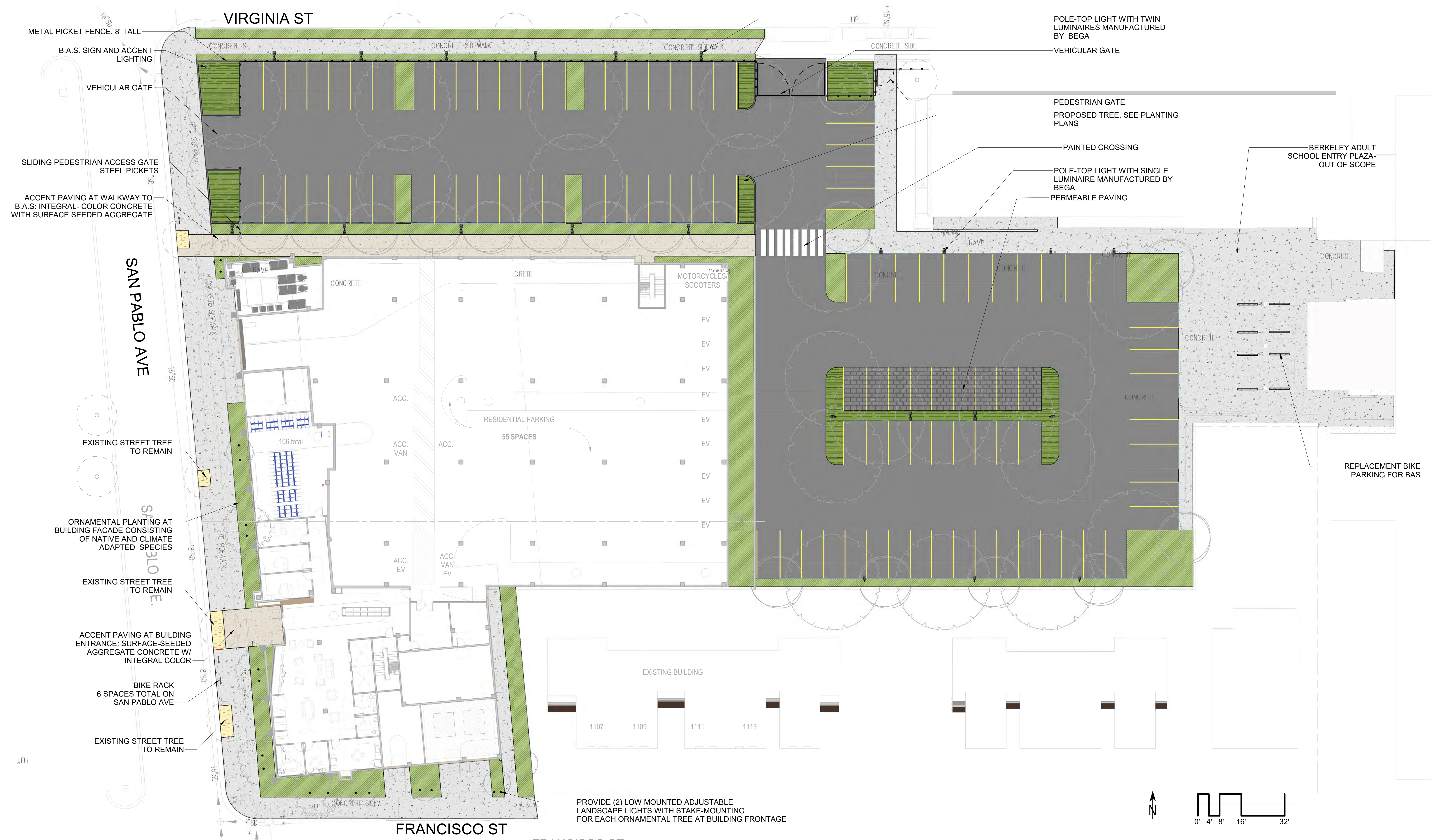


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Date: AUGUST 2022
Scale: 1" = 10'
Drawn By: C.W.
Checked By: J.L.
Job No.: 19157A10
Drawing No.: MASTER-19157A10
Plot Date: 2022-11-30
Sheet No.:



PLANTING AREA	3,386 SF
OPEN SPACE AREA	8,063 SF
% OF OPEN SPACE AS PLANTING AREA	42%

MOVEABLE CHAIRS AND TABLES

32" HIGH DEKTON COUNTER TOP WITH (2) ELECTRIC GRILLS

COMMUNITY ROOM

PICNIC TABLES

LAUNDRY/OFFICE

HAMMOCK GROVE, PROVIDE (2) POLES FOR EACH HAMMOCK

18" PLANTER WALL WITH RECESSED PATH LIGHTING
BASE BID: CMU BLOCK WITH DECORATIVE GROUND FINISH
BID ALT: CIP CONCRETE WITH INTEGRAL COLOR

42" HIGH GUARDRAIL, MODULAR WEB NET SYSTEM BY JAKOB ROPE

RECLAIMED WOOD BENCH

PLAY AREA WITH RECLAIMED TIMBER PLAY ELEMENTS- 650 SF

P.I.P. PLAYGROUND SURFACING

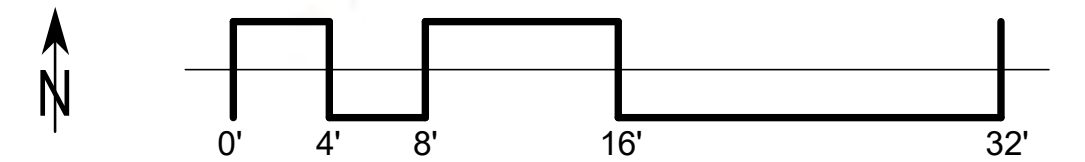
TREE, SEE PLANTING PLANS
PROVIDE (2) ADJUSTABLE STAKE-MOUNTED LOW-VOLTAGE LIGHTS PER TREE, TYP.

VEGETABLE BEDS, POWDER-COATED STEEL

PLANTING BED, SEE PLANTING PLANS

BERM UP TO MIN SOIL DEPTH OF 36" AT TREES, 18" MIN ELSEWHERE

PRE-CAST CONCRETE UNIT PAVERS SAND SET WITH AGGREGATE SETTING BED

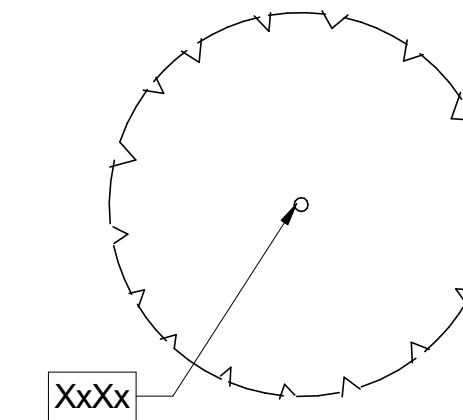


PLANT LIST							
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	WATER USE	WATER USE SOURCE	DROUGHT TOLERANT
TREE							
AcSt	6	ACACIA STENOPHYLLA	SHOESTRING ACACIA	24" BOX	LOW	WUCOLS	No
AcCi	5	ACER CIRCINATUM	VINE MAPLE	24" BOX	MODERATE	WUCOLS	No
AeCa	22	AESCULUS CALIFORNICA	CALIFORNIA BUCKEYE	24" BOX	VERY LOW	WUCOLS	Yes
CeOc	5	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX	VERY LOW	WUCOLS	Yes
PIRa	21	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	24" BOX	MODERATE	WUCOLS	No
SUCCULENT							
BY	8	BESCHORNEIA YUCCOIDES	AMOLE	5 GAL	LOW	WUCOLS	No
YP	7	YUCCA PENDULA	PENDULOUS YUCCA	5 GAL	LOW	WUCOLS	No
SHRUB							
BT	1	BACCHARIS PILULARIS 'TWIN PEAKS'	DWARF COYOTE BRUSH	5 GAL	LOW	WUCOLS	Yes
CX	11	CISTUS 'SUNSET'	ROCKROSE	1 GAL	LOW	WUCOLS	Yes
GB	5	GREVILLEA 'BONFIRE'	ROSEMARY GREVILLEA	1 GAL	LOW	WUCOLS	Yes
LF	77	LESSINGIA FILIGINIFOLIA	CALIFORNIA BEACH ASTER	1 GAL	LOW	WUCOLS	No
LS	86	RHAMNUS CALIFORNICA 'LITTLE SUR'	LITTLE SUR CALIFORNIA COFFEEBERRY	5 GAL	LOW	WUCOLS	Yes
MSB	85	RHAMNUS CALIFORNICA 'MOUND SAN BRUNO'	COFFEEBERRY	5 GAL	LOW	WUCOLS	Yes
RS	5	RIBES SANGUINEUM 'CLAREMONT'	FLOWERING CURRANT	5 GAL	LOW	WUCOLS	Yes
WI	2	RIBES SANGUINEUM 'WHITE ICICLE'	FLOWERING CURRANT	5 GAL	LOW	WUCOLS	No
SC	16	SALVIA CLEVELANDII 'ALLEN CHICKERING'	CLEVELAND SAGE	5 GAL	LOW	WUCOLS	Yes
b	198	SALVIA MICROPHYLLA 'BERZERKELEY'	BERZERKELEY SALVIA	1 GAL	LOW	SAN MARCOS	Yes
PERENNIAL							
AB	49	ABUTILON PALMERII	INDIAN MALLOW	5 GAL	LOW	WUCOLS	No
CI	33	ACACIA COGNATA 'COUSIN IT'	BOWER WATTLE	5 GAL	LOW	WUCOLS	No
a	139	ACHILLEA MILLEFOLIUM	YARROW	1 GAL	LOW	WUCOLS	Yes
AH	16	ANIGOZANTHOS 'HARMONY'	KANGAROO PAW	5 GAL	LOW	WUCOLS	Yes
AR	20	ANIGOZANTHOS 'REGAL VELVET'	REGAL VELVET KANGAROO PAW	5 GAL	LOW	WUCOLS	Yes
MW	70	ASPIDISTRA ELATIOR- MILKY WAY	CAST IRON PLANT	1 GAL	LOW	WUCOLS	Yes
H	17	HEUCHERA MAXIMA	ISLAND ALUM ROOT	1 GAL	MODERATE	WUCOLS	No
I	150	IRIS DOUGLASIANA 'LIGHT LAVENDER/BLUE'	DOUGLAS IRIS	1 GAL	LOW	WUCOLS	Yes
GROUND COVER							
EF	7	DICHONDRA ARGENTEA 'EMERALD FALLS'	EMERALD FALLS DICHONDRA	1 GAL	MODERATE	WUCOLS	No
D	176	DYMONDIA MARGARETAE	SILVER CARPET	1 GAL	LOW	WUCOLS	Yes
n	311	NEPETA RACEMOSA 'BLUE WONDER'	CATMINT	1 GAL	LOW	WUCOLS	Yes
GRASS							
B	889	BOUTELOUA GRACILIS 'BLONDE AMBITION'	MOSQUITO GRASS	1 GAL	LOW	SAN MARCOS	Yes
C	813	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	LOW	SAN MARCOS	Yes
MC	101	MUHLENBERGIA CAPILLARIS 'WHITE CLOUD'	WHITE AWN MUHLY	1 GAL	LOW	WUCOLS	No
MR	13	MUHLENBERGIA RIGENS	DEERGRASS	1 GAL	LOW	WUCOLS	Yes

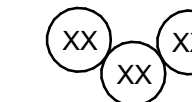
PLANTING NOTES

- VERIFY LOCATION OF SUBSURFACE UTILITIES, PIPES AND STRUCTURES. SHOULD UTILITIES OR OTHER WORK NOT SHOWN ON THE PLANS BE FOUND DURING EXCAVATIONS, PROMPTLY NOTIFY OWNER'S REPRESENTATIVE. FAILURE TO DO SO WILL MAKE CONTRACTOR LIABLE FOR DAMAGE ARISING FROM HIS OPERATIONS SUBSEQUENT TO DISCOVERY OF UTILITIES NOT SHOWN ON PLANS.
- KEEP PLANTING CLEAN AND FREE FROM ALL CONCRETE, ASPHALTIC WASTE, LUMBER AND OTHER SUCH MATERIALS AND SHOULD BE REMOVED BY EXCAVATION OF THE SOIL AND REPLACED WITH CLEAN NATIVE TOP SOIL.
- CLEAR AND GRUB ALL AREAS TO RECEIVE NEW PLANTING AND PREPARE SOIL PER SPECIFICATION.
- DO NOT WORK SOIL WHEN WET TO AVOID COMPACTION.
- NO PLANT SPECIES SUBSTITUTIONS WILL BE ACCEPTED, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT. SAME GENUS DIFFERENT SPECIES SUBSTITUTIONS ARE ACCEPTABLE PROVIDED THE VARIETY IS SIMILAR IN GROWTH HABIT AND SIZE TO THE SPECIFIED PLANT AND WATER USE IS THE SAME. EXAMPLE: ESCALLONIA 'TERRI' COULD SUB FOR 'RED ELF.' RHAPHIOLEPSIS CAN NOT SUBSTITUTE FOR ESCALLONIA AS THEY HAVE DIFFERENT WATER USE REQUIREMENTS. CERTIFICATES OF COMPLIANCE WILL NOT BE COMPLETED FOR PROJECTS WHICH EXCEED THE WATER USE OF SPECIFIED PLANT MATERIALS UNTIL CONFORMANCE WITH THE WATER EFFICIENT LANDSCAPE REQUIREMENTS IS ACHIEVED.
- CONTRACT GROW PLANTS AS REQUIRED. CONTRACT GROWN PLANTS MUST MEET INDUSTRY STANDARDS FOR SIZE IN ORDER TO BE ACCEPTED.
- ALL PLANTS AND LAYOUT TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO EXCAVATION OF PLANTING HOLES.
- NOTIFY OWNER'S REPRESENTATIVE 36 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION MEETINGS.
- SPACE GROUND COVERS TRIANGULARLY IN PLANTING AREAS. GROUND COVER KEY INDICATIONS ARE SHOWN IN LEGEND. HOLD GROUND COVER BACK IN 18 IN. FROM THE EDGE OF NEW SHRUB PLANTS UNLESS OTHERWISE. PLANT GROUND COVER WHERE SHRUBS ARE PLANTED 2 1/2 FT. APART OR MORE.
- PROTECT EXISTING TREES TO REMAIN PER TREE PRESERVATION AND REMOVAL PLAN.
- PLANT QUANTITIES ARE FOR INFORMATIONAL PURPOSES AND CONSTRUCTION DOCUMENT WATER USE CALCULATIONS ONLY. CONTRACTOR TO VERIFY THE QUANTITY AND USE THE GRAPHIC PLANS AS A BASIS FOR QUANTITY OF PLANTS.
- SEE DETAILS AND SPECIFICATIONS FOR PROCEDURES, MATERIALS AND INSTALLATION REQUIREMENTS.
- PROVIDE SOILS REPORTS FOR ALL IMPORTED SOILS, PER SPECIFICATIONS AND WELO CONFORMANCE. SUBMIT REPORTS TO OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- KEEP ADJACENT STREETS, SIDEWALKS AND OTHER AREAS FREE OF MUD, DIRT OR SIMILAR NUISANCES RESULTING FROM EARTHWORK OPERATIONS.
- REPLACE TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE ANY DAMAGED OR DESTROYED LANDSCAPING.
- FOR BEST RESULTS, NATIVE PLANT MATERIALS SHOULD NOT HAVE THEIR ROOTS DISTURBED. FOR PLASTIC CANS, REMOVE BOTTOM OF CAN, PLACE IN PLANT PIT AND CUT SIDES TO REMOVE. CUT METAL CANS IN THREE PLACES MINIMUM AND CAREFULLY SLIDE ROOT BALL INTO PLANT PIT, FOR LARGE MATERIAL, USE BOTTOM SUPPORT AS NECESSARY.
- AREAS IDENTIFIED AS BIORETENTION PLANTING ARE FUNCTIONAL STORM WATER PLANTERS WITH AN ENGINEERED IMPORTED SOIL MIX DESIGNED FOR SPECIFIC PERFORMANCE CRITERIA. AMEND ONLY PLANTING PITS AND ASSOCIATED PLANTING BACKFILL PER THE PLANTING INSTRUCTIONS. SEE CIVIL DRAWINGS FOR BIOFILTRATION MIX AND DRAINAGE.

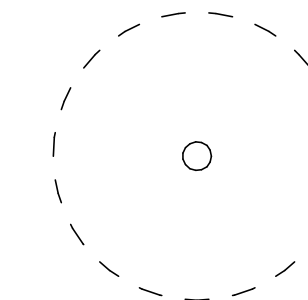
PLANT LEGEND



PROPOSED TREE AND SPECIES ABBREVIATION, SEE PLANT LIST FOR SPECIES



SHRUB OR GROUND COVER, SEE PLANT LIST FOR SPECIES



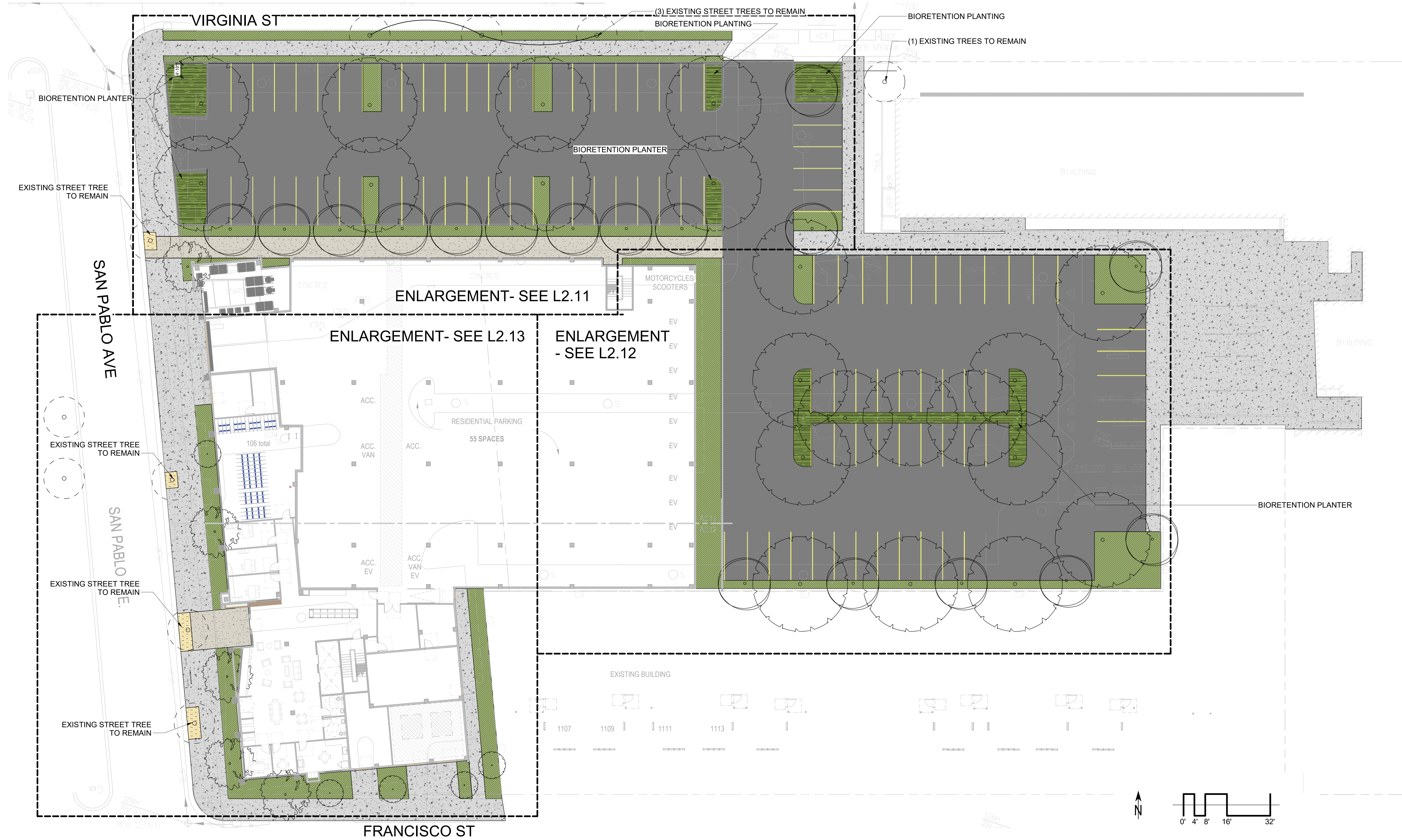
EXISTING TREE TO REMAIN

STATEMENT OF COMPLIANCE TO MWELO FOR DESIGN PLANS

I HAVE COMPLIED WITH THE CRITERIA OF ARTICLE 19 OF THE ZONING CODE, INCLUDING ALL DESIGN STANDARDS OF SECTION 4-1908, AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

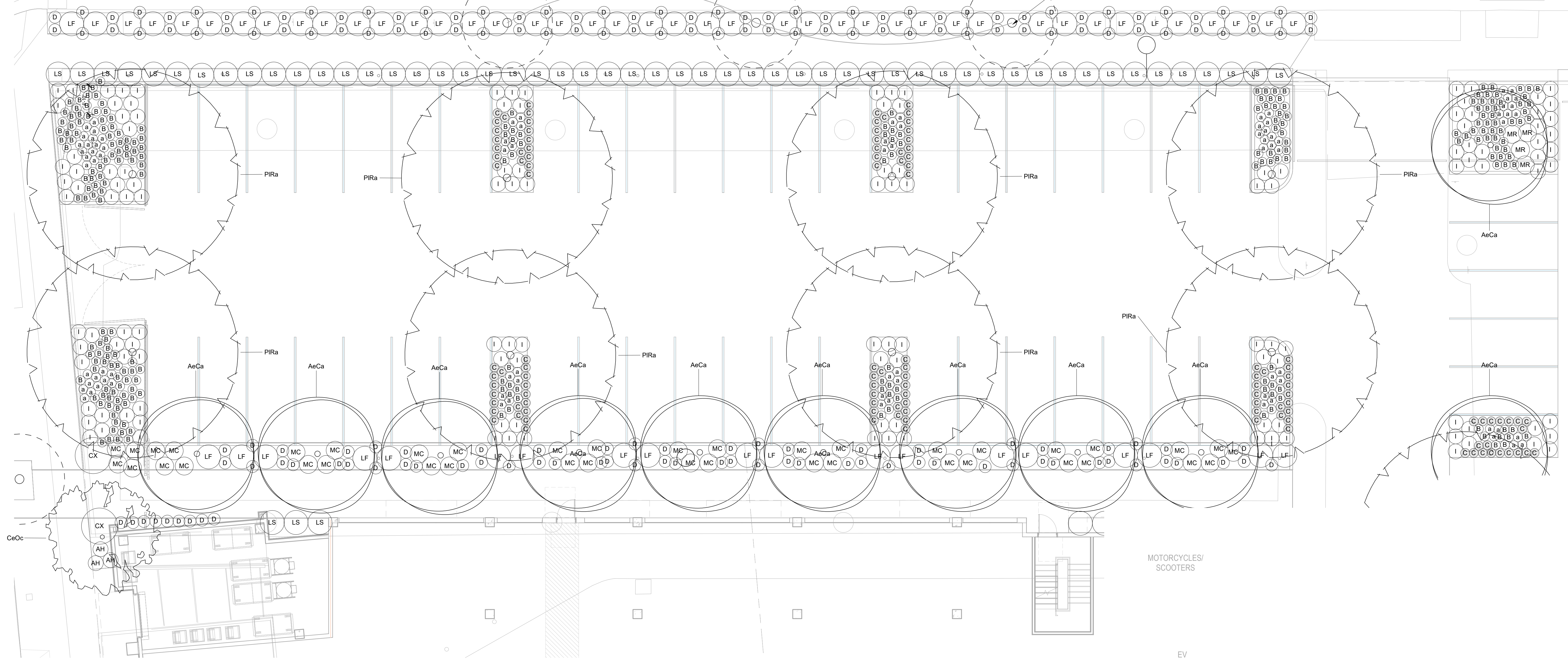
Christopher Wood

LANDSCAPE ARCHITECTURE SIGNATURE



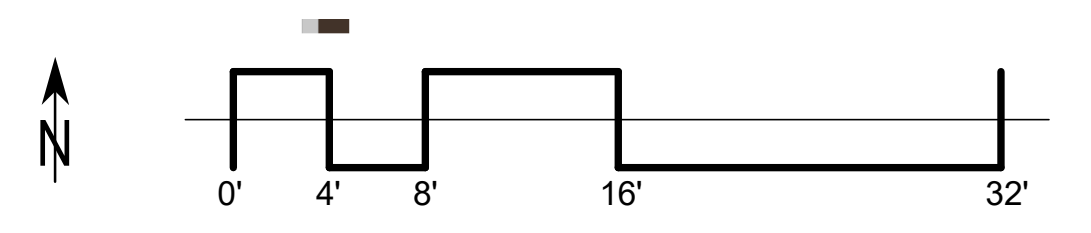
VIRGINIA ST

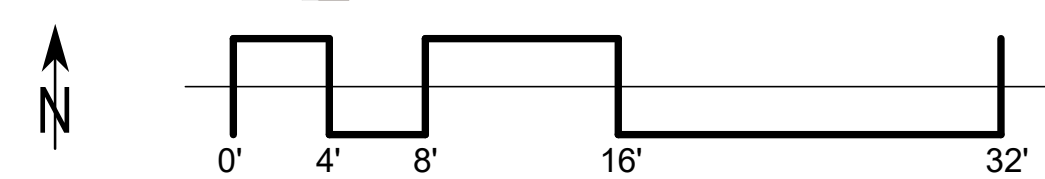
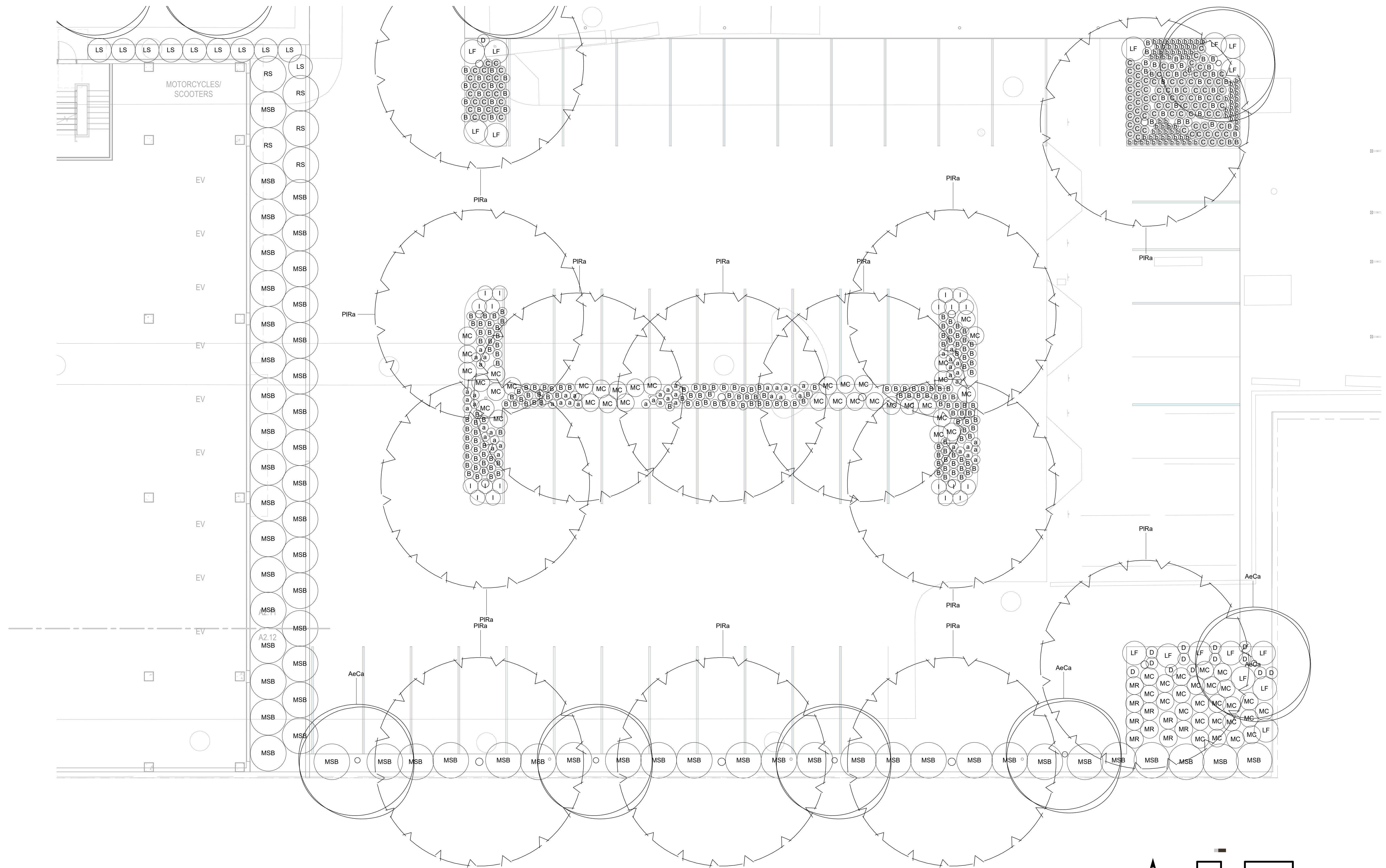
(3) EXISTING STREET TREES TO REMAIN

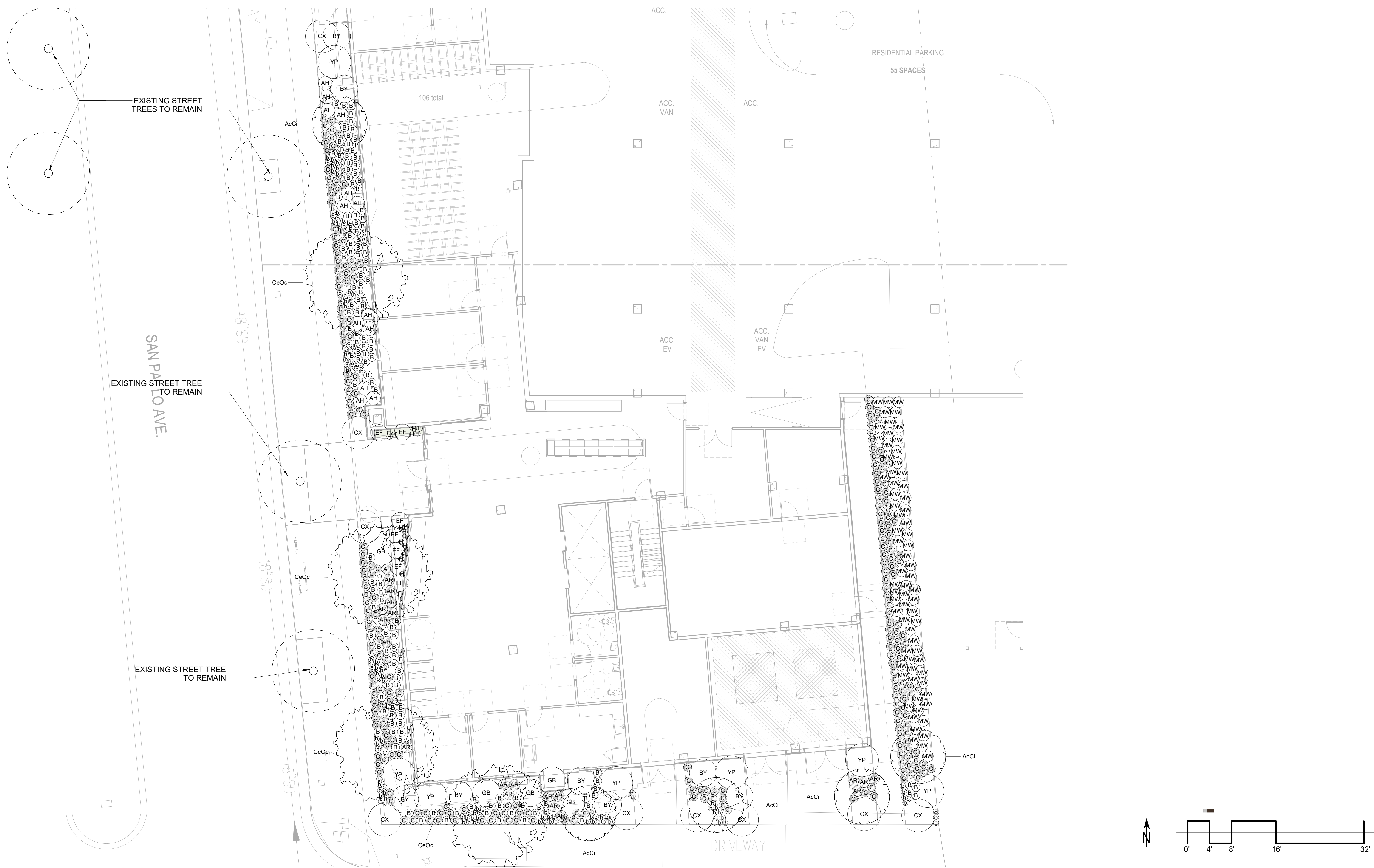


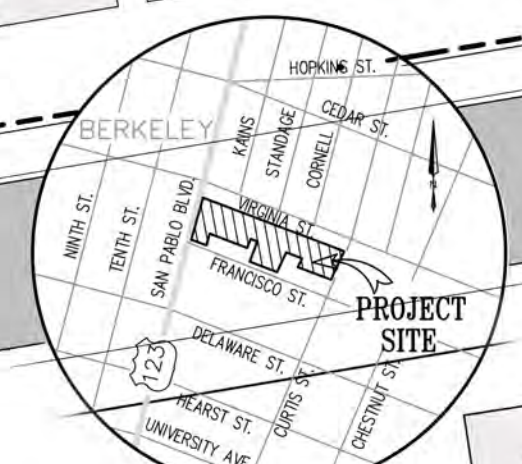
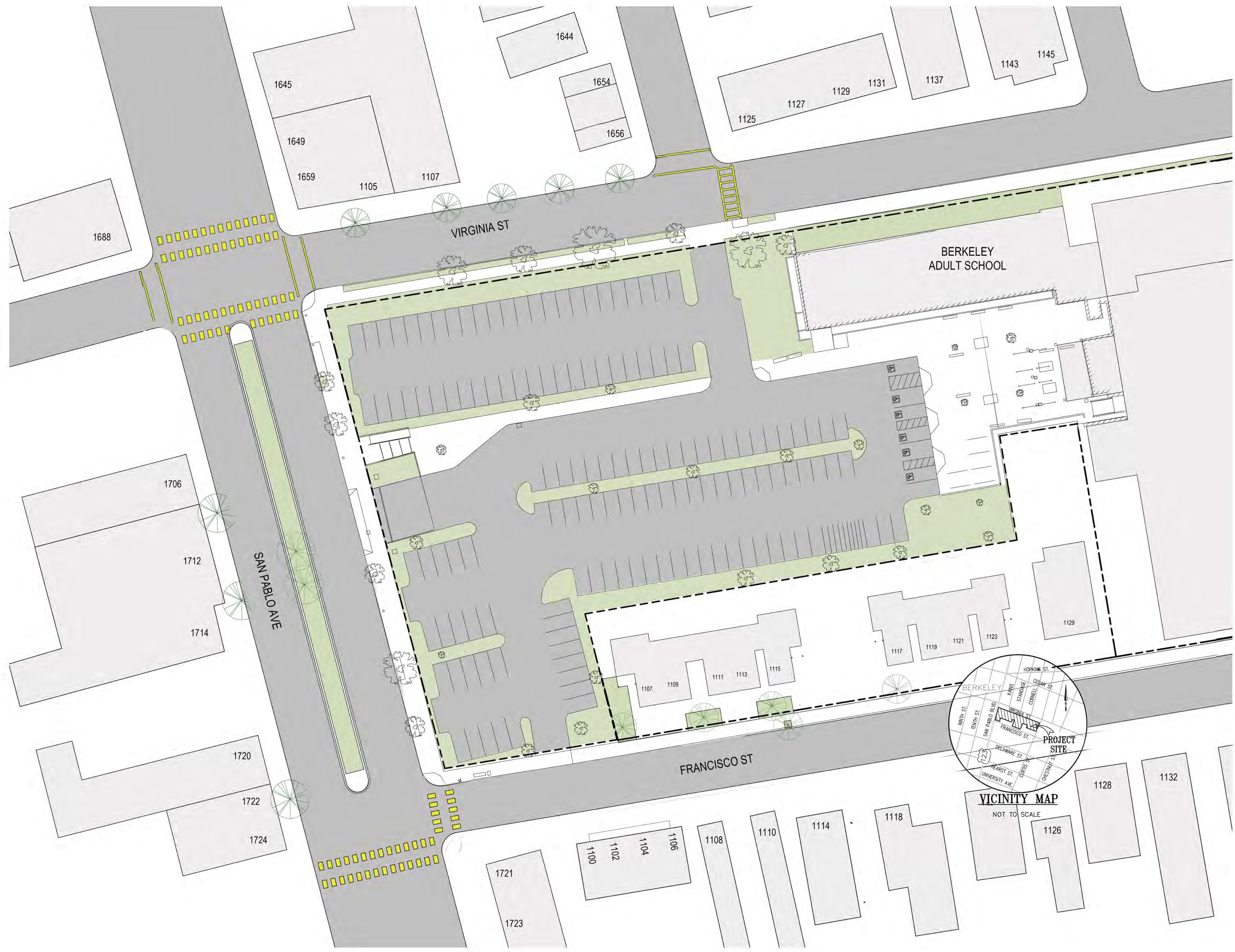
MOTORCYCLES/
SCOOTERS

EV

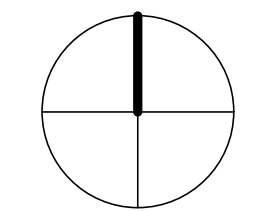




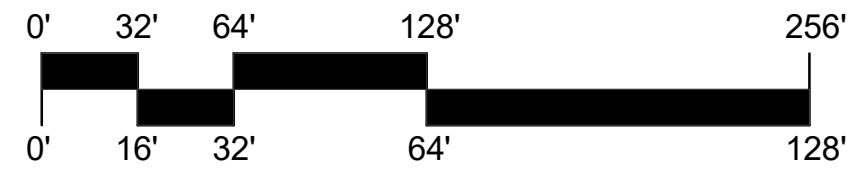




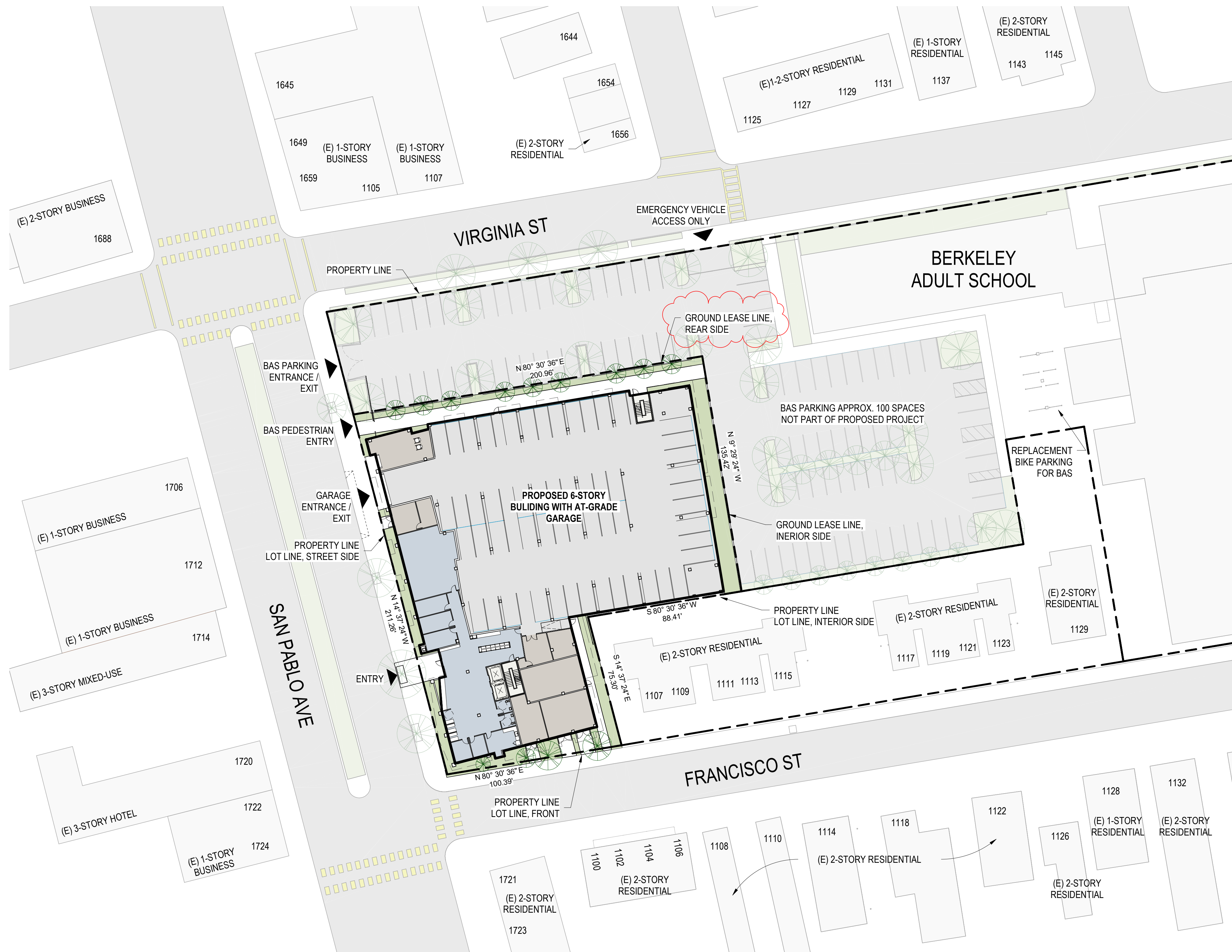
EXISTING SITE PLAN ①
1/32" = 1'-0"



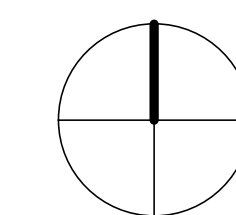
11x17 SCALE: 1/64" = 1'



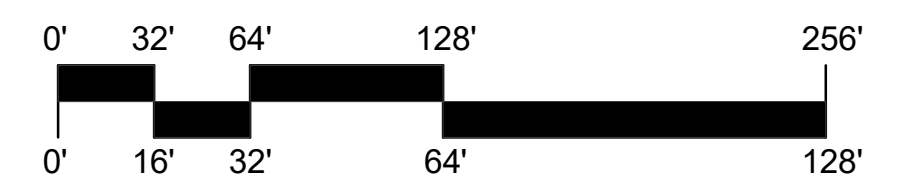
22x34 SCALE: 1/32" = 1'



SITE PLAN 1
1/32" = 1'-0"



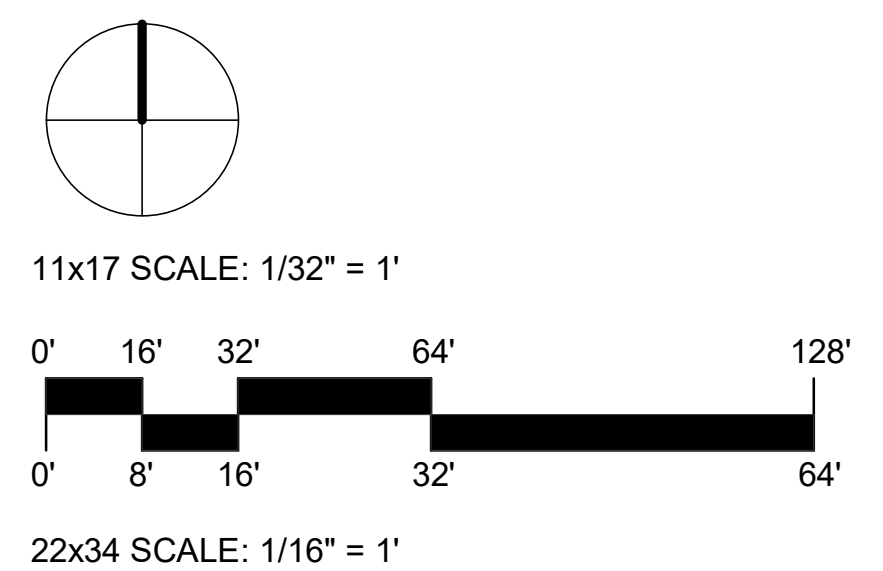
11x17 SCALE: 1/64" = 1'



22x34 SCALE: 1/32" = 1'



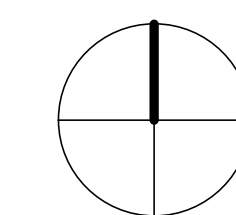
ENLARGED SITE PLAN - NORTHWEST ①
1/16" = 1'-0"



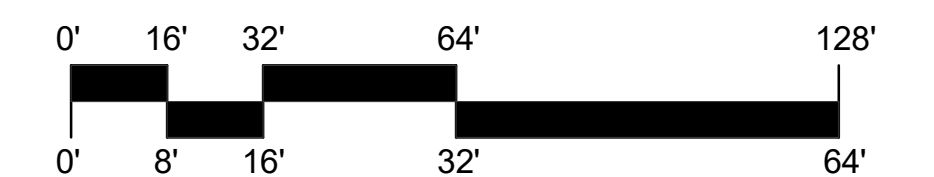


GROUND LEASE LINE, REAR SIDE

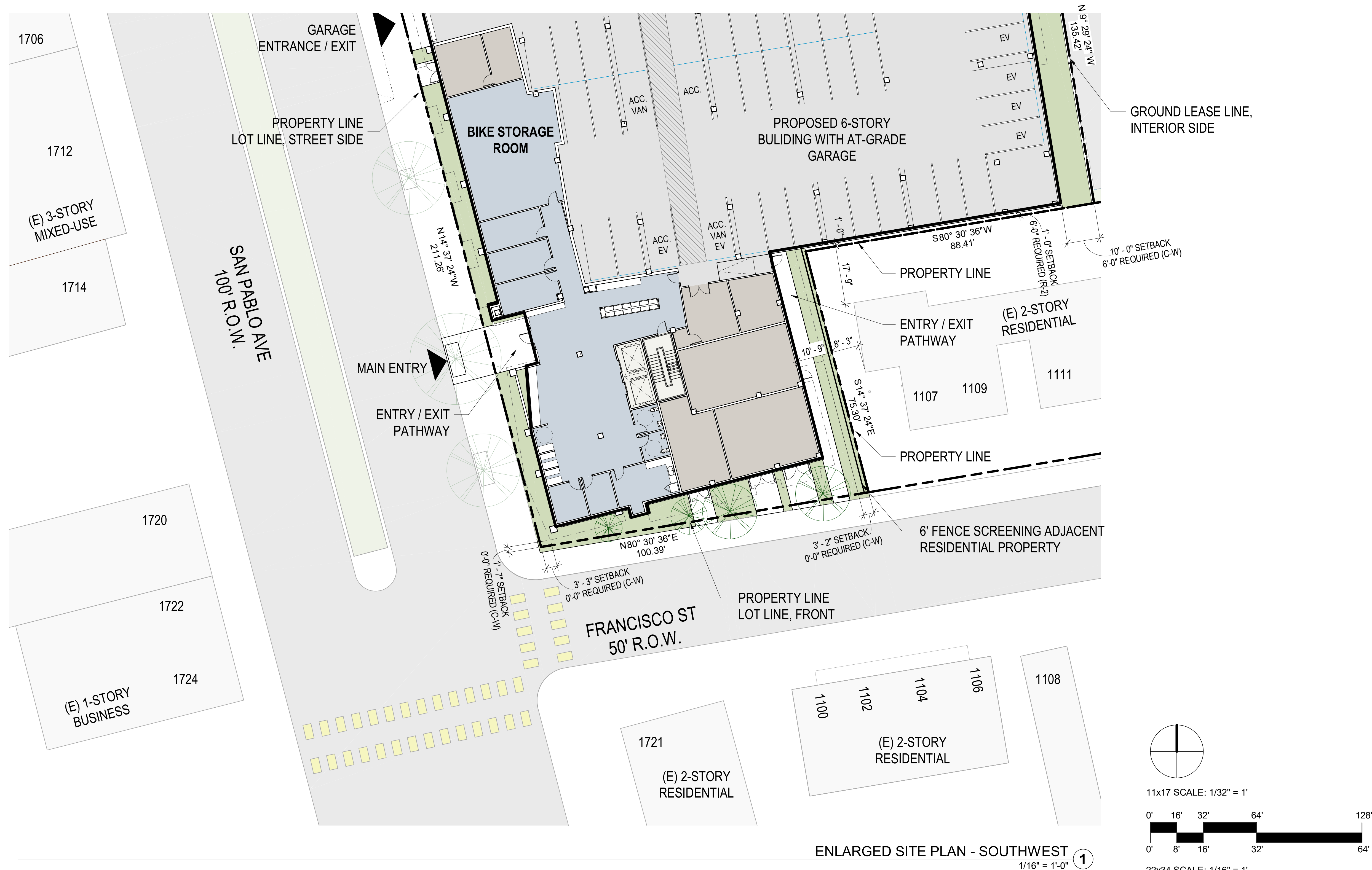
ENLARGED SITE PLAN - NORTHEAST
1/16" = 1'-0" ①



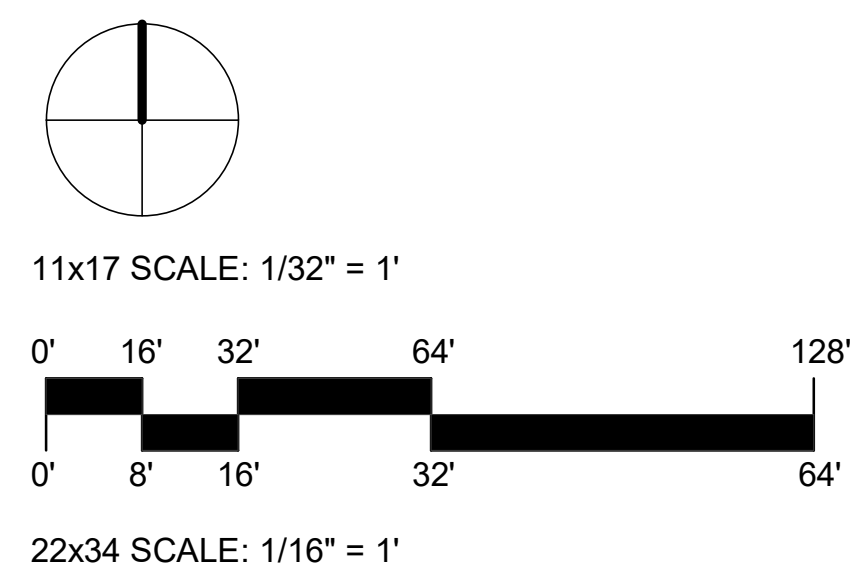
11x17 SCALE: 1/32" = 1'



22x34 SCALE: 1/16" = 1'



ENLARGED SITE PLAN - SOUTHWEST
1/16" = 1'-0" ①



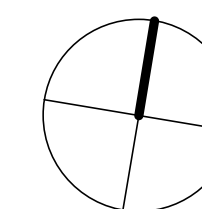


ENLARGED SITE PLAN - SOUTHEAST ①
1/16" = 1'-0"

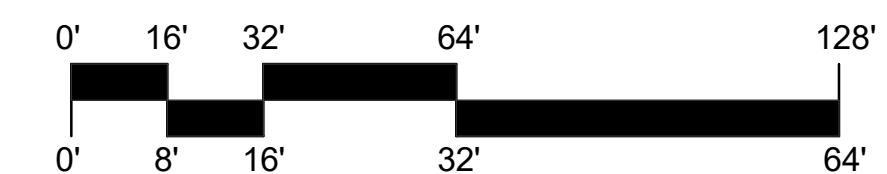


PLAN KEY:

- SERVICE
- GARAGE
- AMENITY
- GREEN SPACE



11x17 SCALE: 1/32" = 1'



22x34 SCALE: 1/16" = 1'

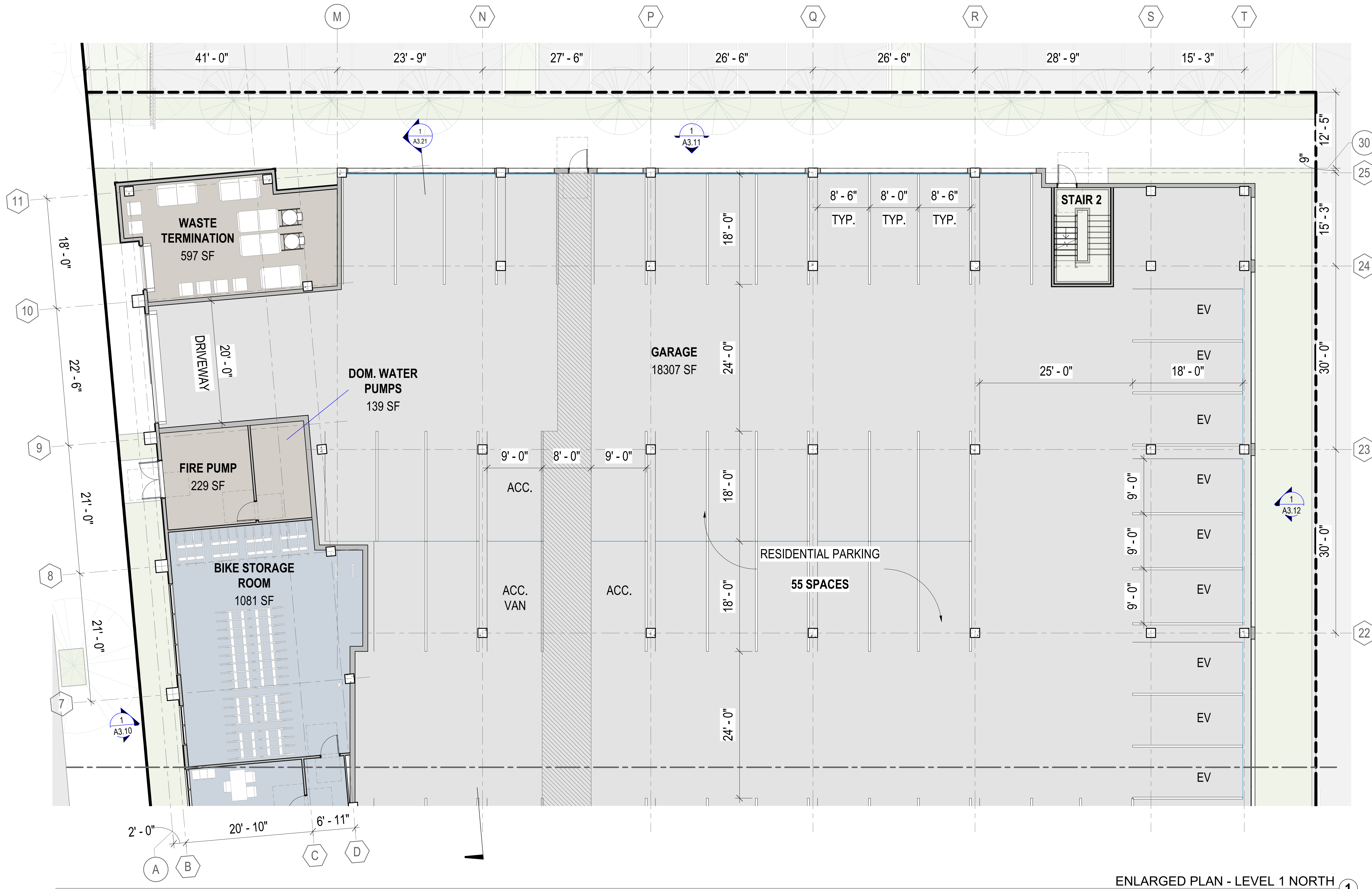
BUILDING PLAN - LEVEL 1
1/16" = 1'-0" ①

BUILDING PLAN - LEVEL 1

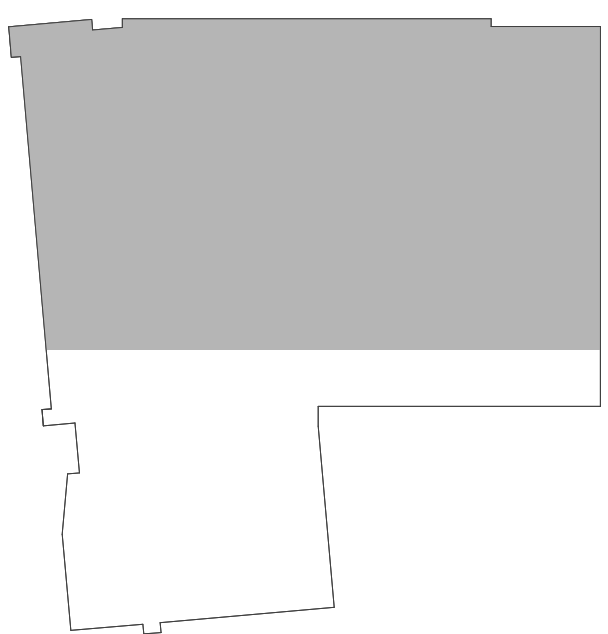
SB 35 APPLICATION | 02/17/2023



A2.10

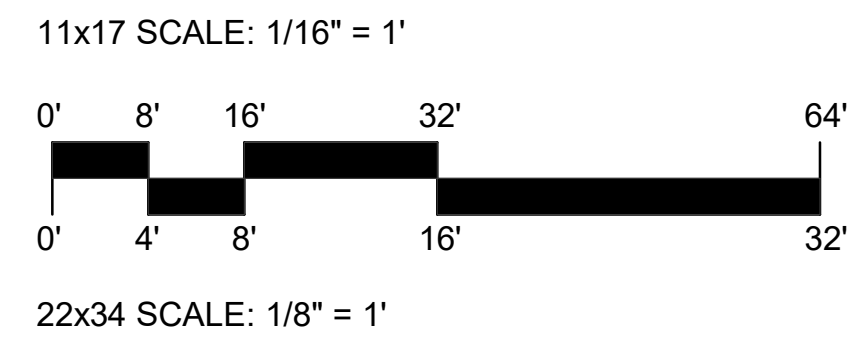
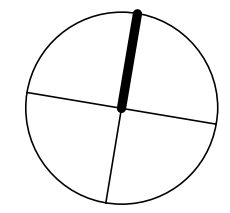


LEVEL 1 KEYPLAN

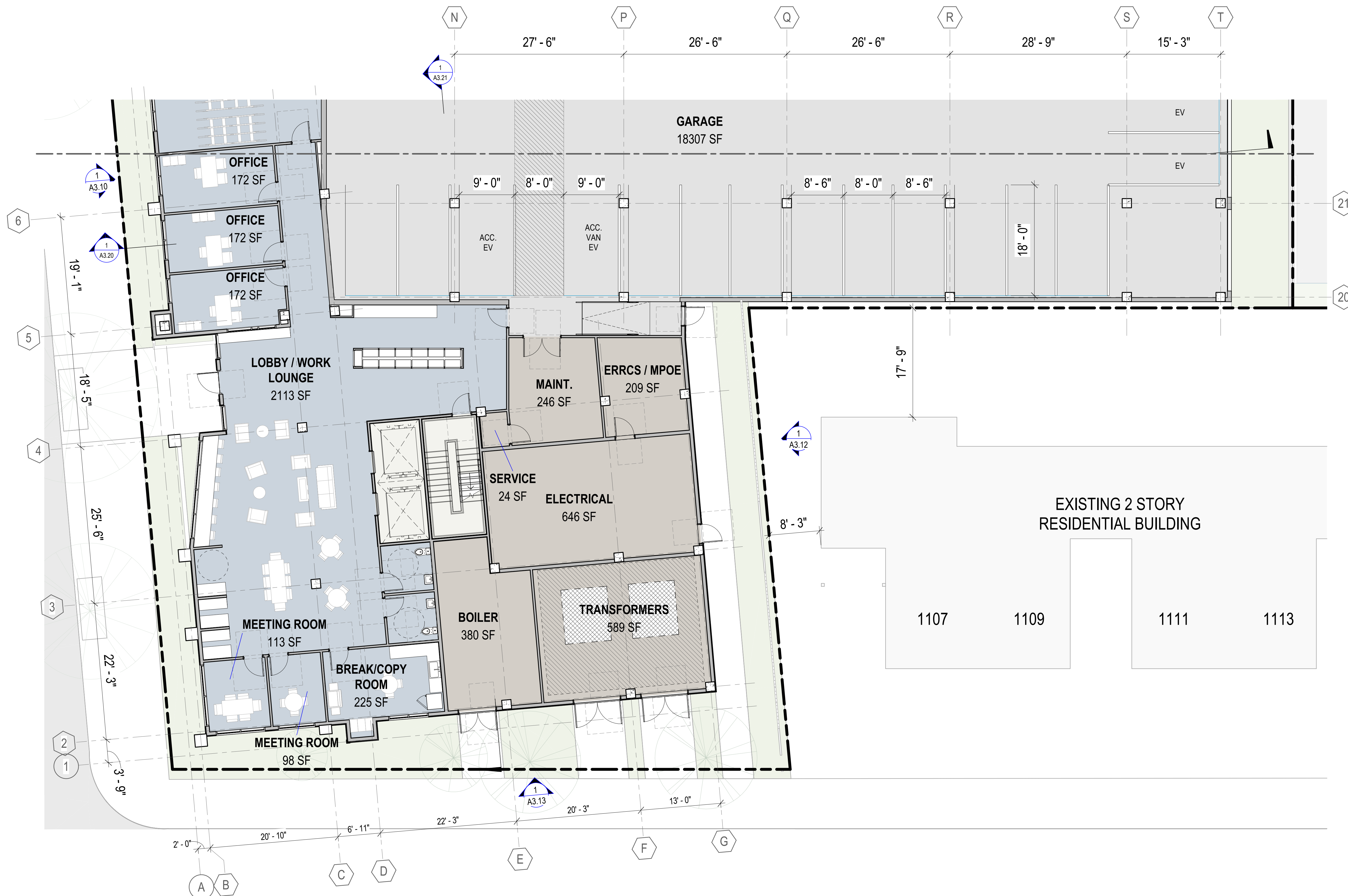


PLAN KEY:

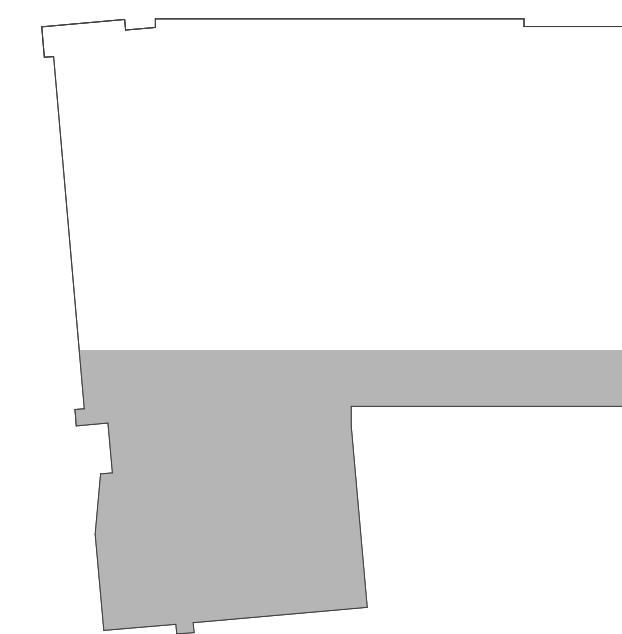
- SERVICE
- GARAGE
- AMENITY
- GREEN SPACE



ENLARGED PLAN - LEVEL 1 NORTH
1/8" = 1'-0" ①

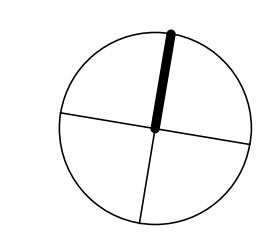


LEVEL 1 KEYPLAN

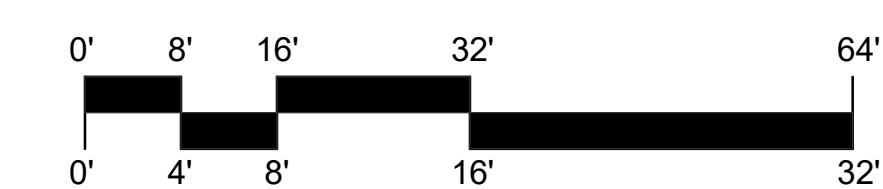


PLAN KEY:

- SERVICE
- GARAGE
- AMENITY
- GREEN SPACE



11x17 SCALE: 1/16" = 1'



22x34 SCALE: 1/8" = 1'

ENLARGED PLAN - LEVEL 1 SOUTH
1/8" = 1'-0" ①

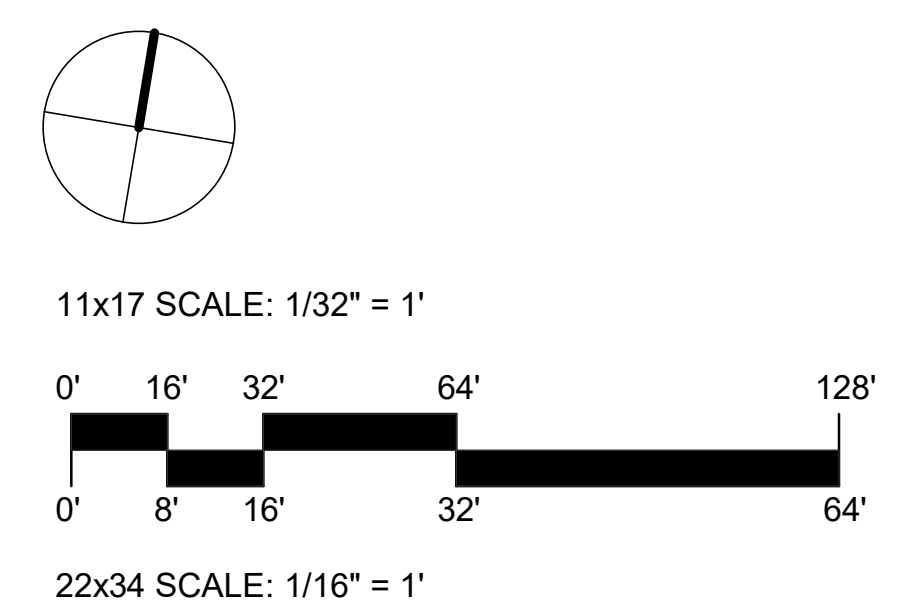


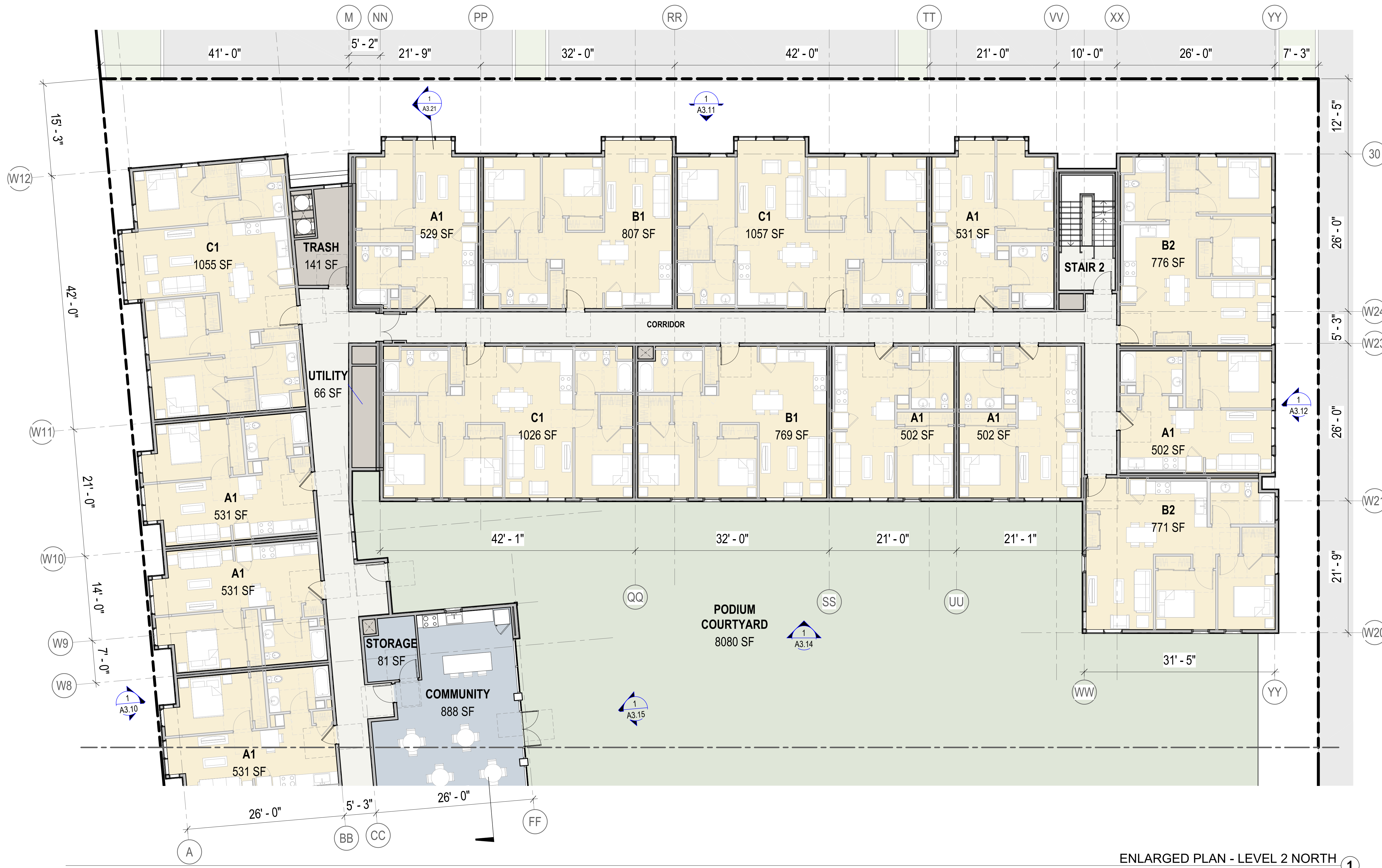
BUILDING PLAN - LEVEL 2
1/16" = 1'-0" ①

UNIT MIX TABULATION

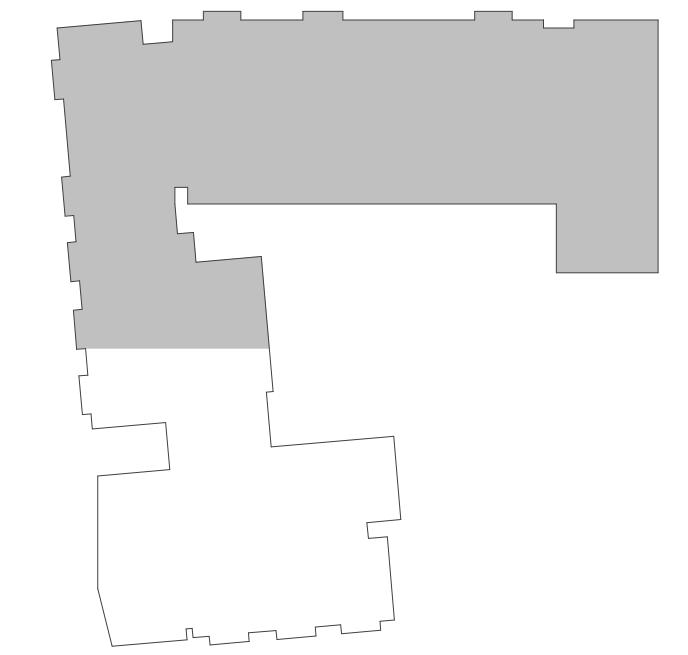
UNIT MIX	UNIT DIMENSION		UNIT SF		
	QTY	%	WIDTH	DEPTH	SF/UNIT
1 BED	59	53.6%	21.00	26.00	546
2 BED	25	22.7%	32.00	26.00	832
3 BED	26	23.6%	42.00	26.00	1,092
	110	100%			740 SF AVG

- PLAN KEY:**
- SERVICE
 - AMENITY
 - GREEN SPACE
 - RESIDENTIAL



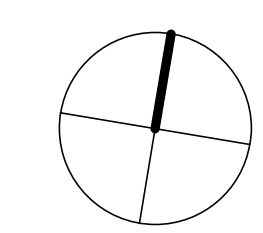


ENLARGED FLOOR PLAN KEY PLAN

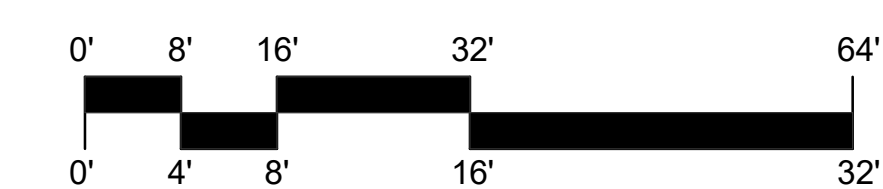


PLAN KEY:

- SERVICE
- AMENITY
- GREEN SPACE
- RESIDENTIAL



11x17 SCALE: 1/16" = 1'

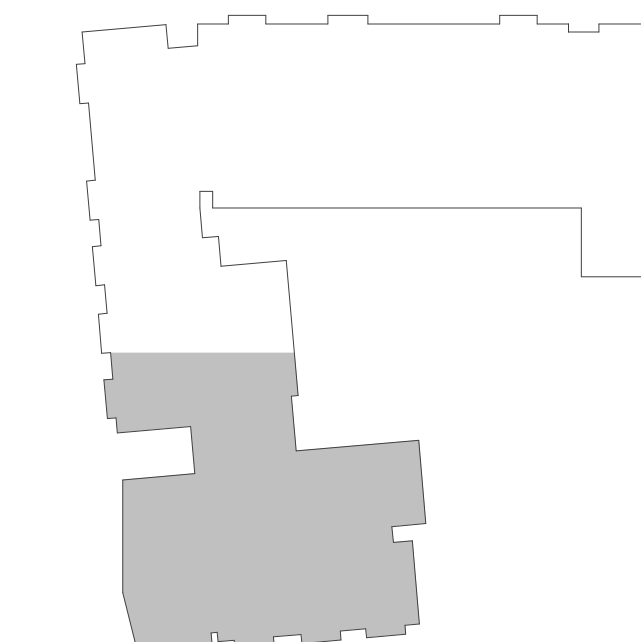


22x34 SCALE: 1/8" = 1'

ENLARGED PLAN - LEVEL 2 NORTH
1/8" = 1'-0" ①

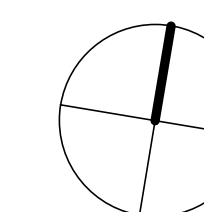


ENLARGED FLOOR PLAN KEY PLAN



PLAN KEY:

- SERVICE
- AMENITY
- GREEN SPACE
- RESIDENTIAL



11x17 SCALE: 1/16" = 1'



22x34 SCALE: 1/8" = 1'

ENLARGED PLAN - LEVEL 2 SOUTH 1
1/8" = 1'-0"

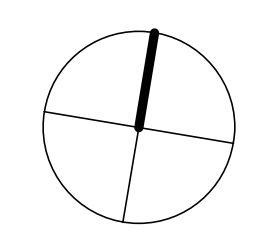


BUILDING PLAN - LEVEL 3
1/16" = 1'-0" ①

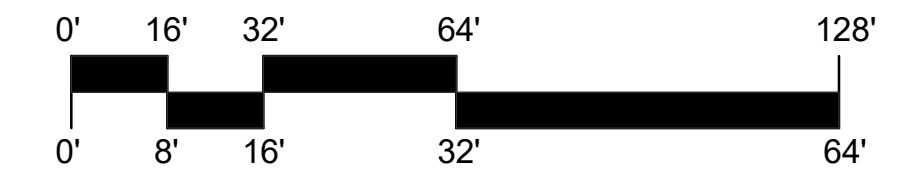
UNIT MIX TABULATION

UNIT MIX	UNIT DIMENSION		UNIT SF		
	QTY	%	WIDTH	DEPTH	SF/UNIT
1 BED	59	53.6%	21.00	26.00	546
2 BED	25	22.7%	32.00	26.00	832
3 BED	26	23.6%	42.00	26.00	1,092
	110	100%			740 SF AVG

- PLAN KEY:**
- SERVICE
 - AMENITY
 - GREEN SPACE
 - RESIDENTIAL



11x17 SCALE: 1/32" = 1'

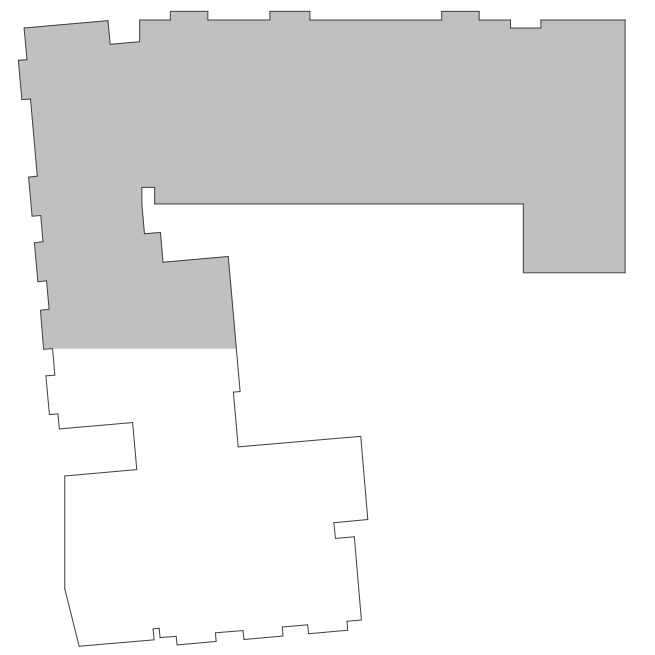


22x34 SCALE: 1/16" = 1'



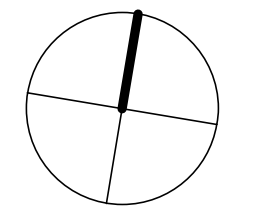


ENLARGED FLOOR PLAN KEY PLAN

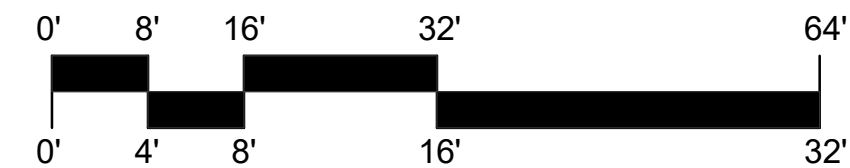


PLAN KEY:

- SERVICE
- AMENITY
- GREEN SPACE
- RESIDENTIAL



11x17 SCALE: 1/16" = 1'

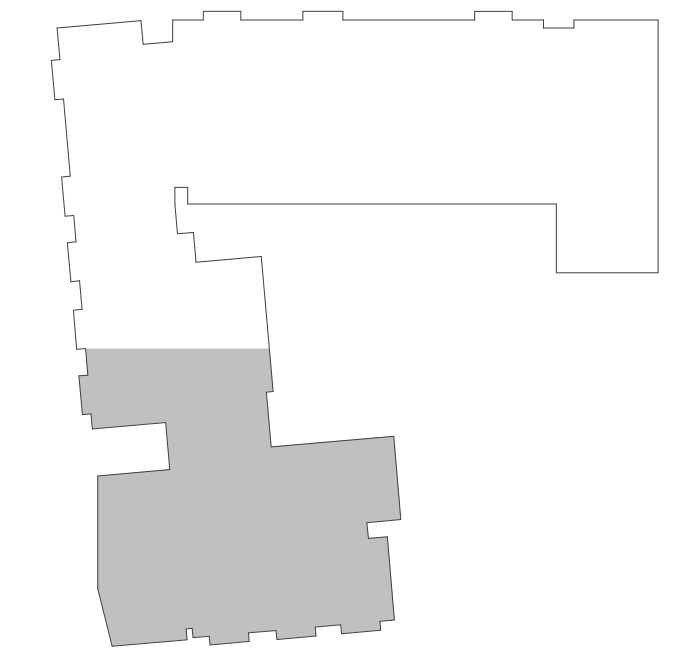


22x34 SCALE: 1/8" = 1'

ENLARGED PLAN - LEVEL 3 NORTH
1/8" = 1'-0" ①

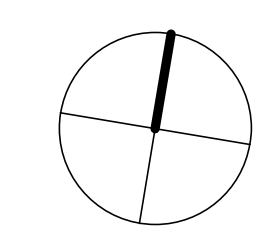


ENLARGED FLOOR PLAN KEY PLAN

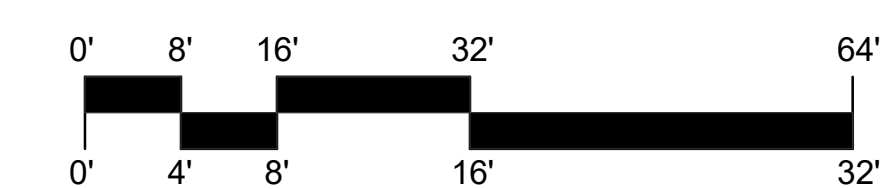


PLAN KEY:

- SERVICE
- AMENITY
- GREEN SPACE
- RESIDENTIAL



11x17 SCALE: 1/16" = 1'



22x34 SCALE: 1/8" = 1'

ENLARGED PLAN - LEVEL 3 SOUTH
1/8" = 1'-0" ①

PYATOK
1611 TELEGRAPH AVE.
SUITE 200
OAKLAND, CA 94612
T. 510.465.7010 | F. 510.465.8575
www.pyatok.com

BUSD WORKFORCE HOUSING
1701 San Pablo Ave
Berkeley, CA 94702

ENLARGED PLAN - LEVEL 3 SOUTH

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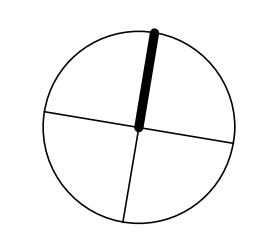
A2.32



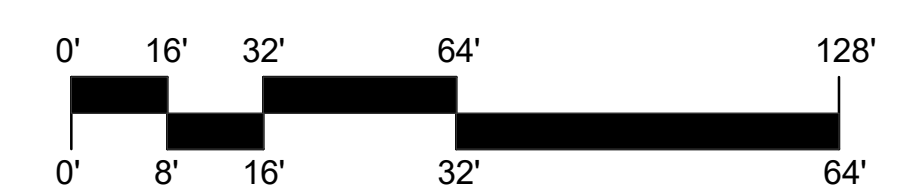
UNIT MIX TABULATION

UNIT MIX	UNIT DIMENSION		UNIT SF		
	QTY	%	WIDTH	DEPTH	SF/UNIT
1 BED	59	53.6%	21.00	26.00	546
2 BED	25	22.7%	32.00	26.00	832
3 BED	26	23.6%	42.00	26.00	1,092
	110	100%			740 SF AVG

- PLAN KEY:**
- SERVICE
 - AMENITY
 - GREEN SPACE
 - RESIDENTIAL



11x17 SCALE: 1/32" = 1'

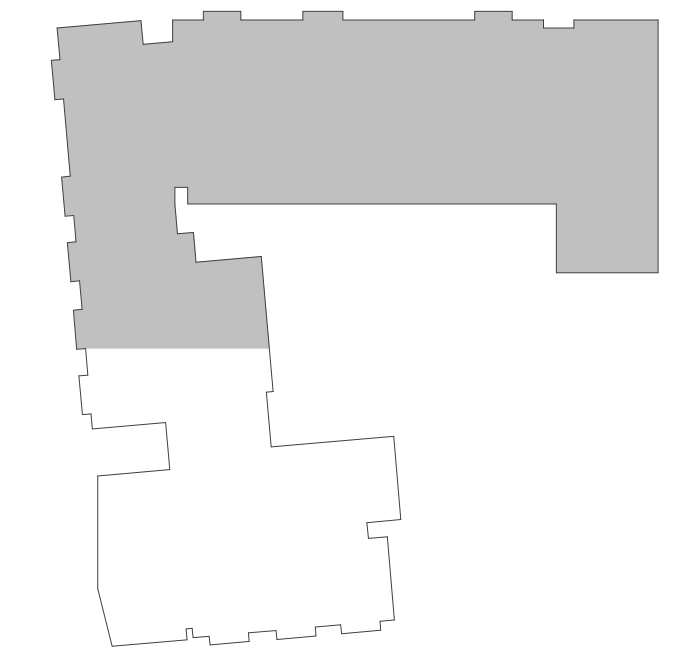


22x34 SCALE: 1/16" = 1'

BUILDING PLAN - LEVEL 4
1/16" = 1'-0" ①

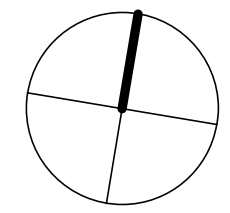


ENLARGED FLOOR PLAN KEY PLAN

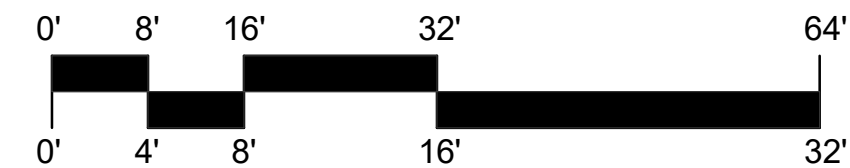


PLAN KEY:

- SERVICE
- AMENITY
- GREEN SPACE
- RESIDENTIAL



11x17 SCALE: 1/16" = 1'

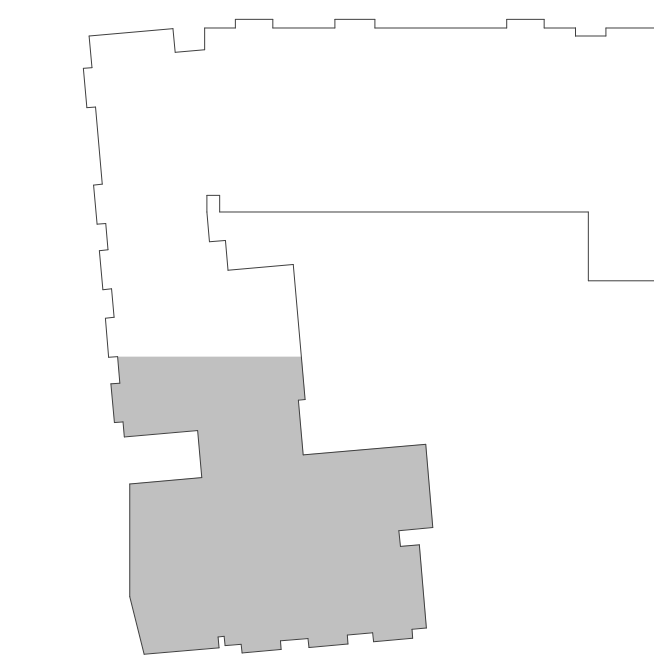


22x34 SCALE: 1/8" = 1'

ENLARGED PLAN - LEVEL 4 NORTH
1/8" = 1'-0" ①

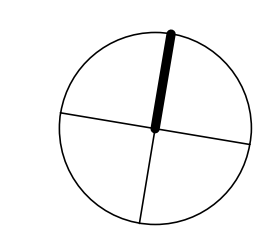


ENLARGED FLOOR PLAN KEY PLAN

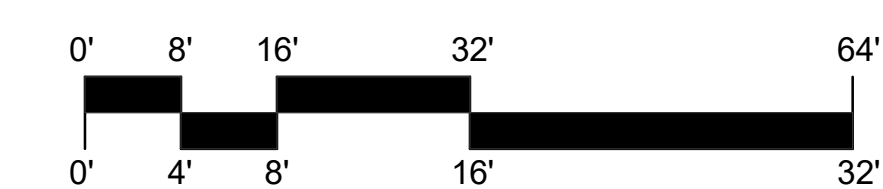


PLAN KEY:

- SERVICE
- AMENITY
- GREEN SPACE
- RESIDENTIAL



11x17 SCALE: 1/16" = 1'



22x34 SCALE: 1/8" = 1'

ENLARGED PLAN - LEVEL 4 SOUTH
1/8" = 1'-0" 1



SAN PABLO AVE.

FRANCISCO ST.

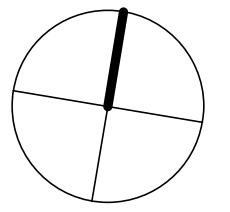
BUILDING PLAN - LEVEL 5
1/16" = 1'-0" ①

UNIT MIX TABULATION

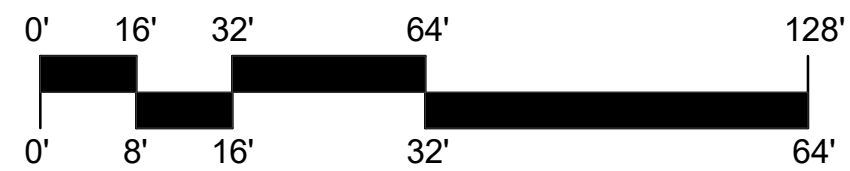
UNIT MIX	UNIT DIMENSION		UNIT SF		
	QTY	%	WIDTH	DEPTH	SF/UNIT
1 BED	59	53.6%	21.00	26.00	546
2 BED	25	22.7%	32.00	26.00	832
3 BED	26	23.6%	42.00	26.00	1,092
	110	100%			740 SF AVG

PLAN KEY:

- SERVICE
- AMENITY
- GREEN SPACE
- RESIDENTIAL



11x17 SCALE: 1/32" = 1'

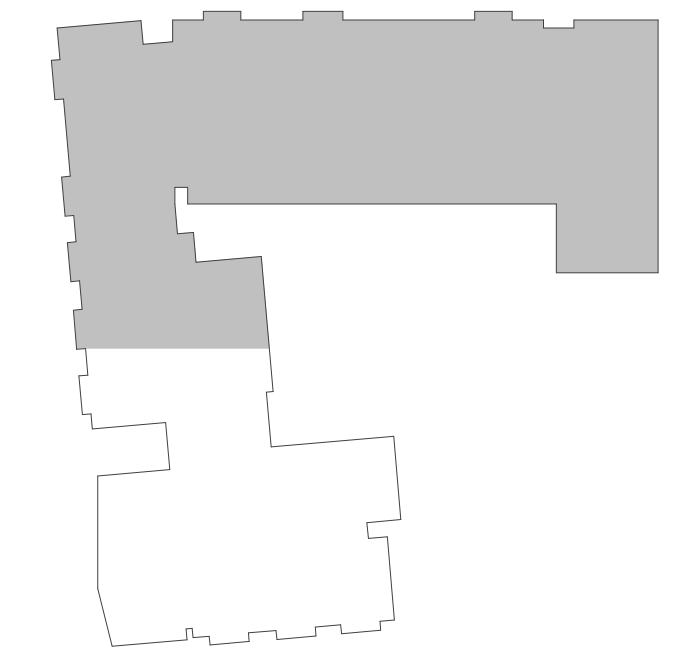


22x34 SCALE: 1/16" = 1'



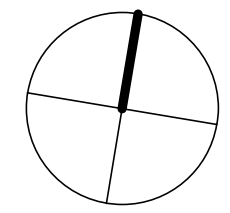


ENLARGED FLOOR PLAN KEY PLAN

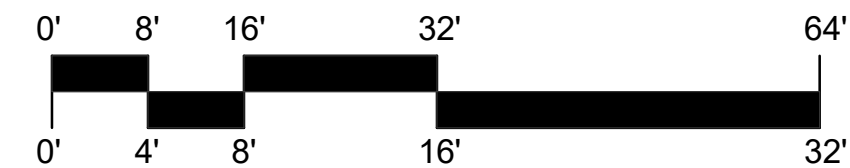


PLAN KEY:

- SERVICE
- AMENITY
- GREEN SPACE
- RESIDENTIAL

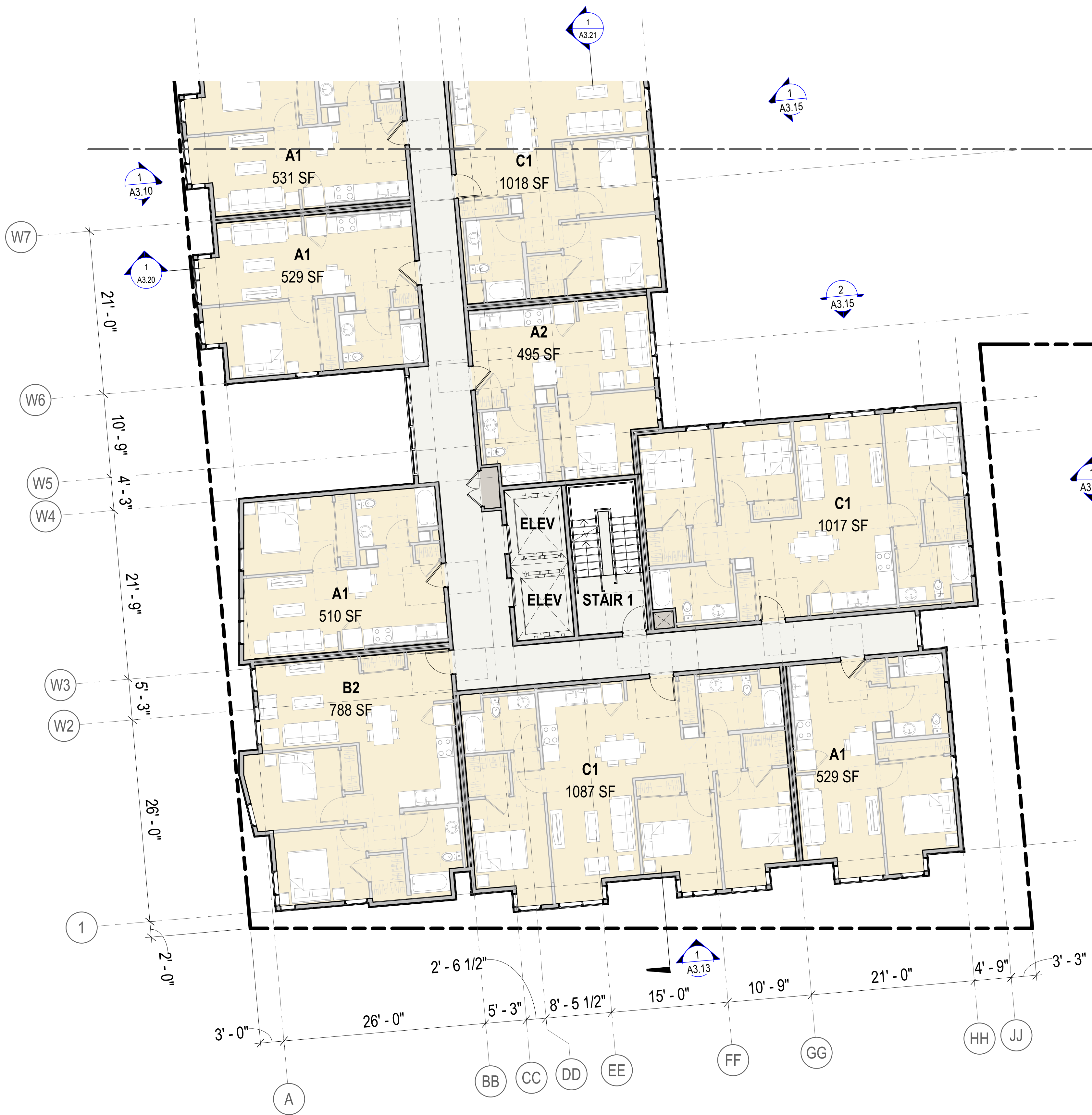


11x17 SCALE: 1/16" = 1'

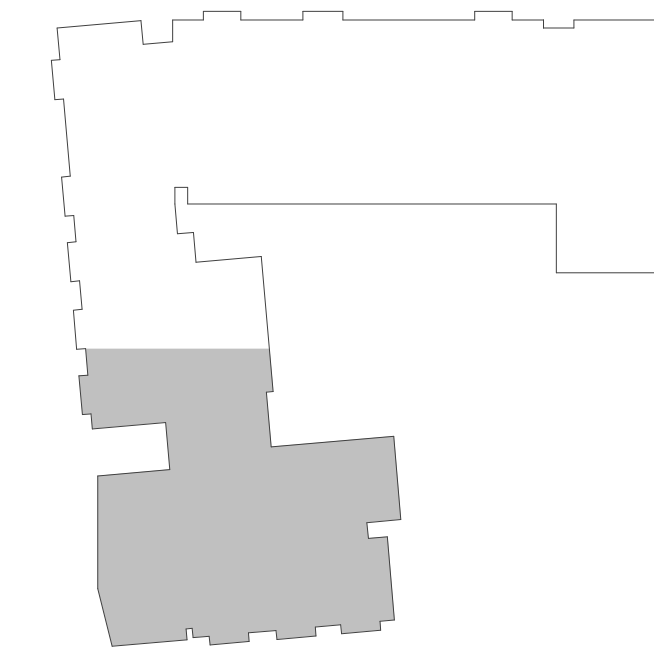


22x34 SCALE: 1/8" = 1'

ENLARGED PLAN - LEVEL 5 NORTH
1/8" = 1'-0" ①

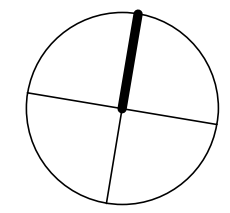


ENLARGED FLOOR PLAN KEY PLAN

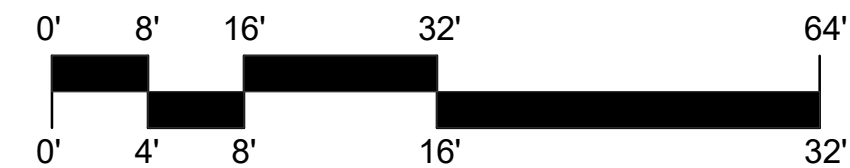


PLAN KEY:

- SERVICE
- AMENITY
- GREEN SPACE
- RESIDENTIAL



11x17 SCALE: 1/16" = 1'



22x34 SCALE: 1/8" = 1'

ENLARGED PLAN - LEVEL 5 SOUTH
1/8" = 1'-0" ①

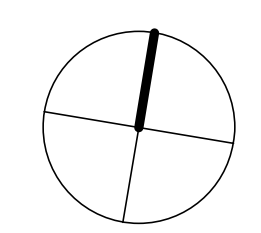


BUILDING PLAN - LEVEL 6
1/16" = 1'-0" ①

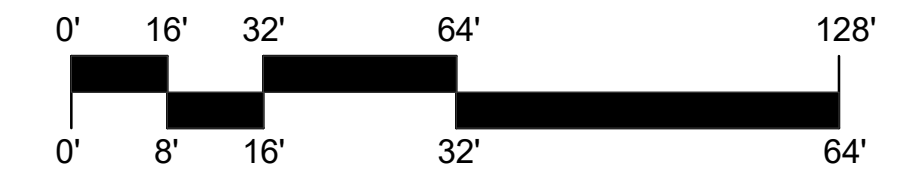
UNIT MIX TABULATION

UNIT MIX	UNIT DIMENSION		UNIT SF		
	QTY	%	WIDTH	DEPTH	SF/UNIT
1 BED	59	53.6%	21.00	26.00	546
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3 BED	26	23.6%	42.00	26.00	1,092
	110	100%			740 SF AVG

- PLAN KEY:**
- SERVICE
 - AMENITY
 - GREEN SPACE
 - RESIDENTIAL

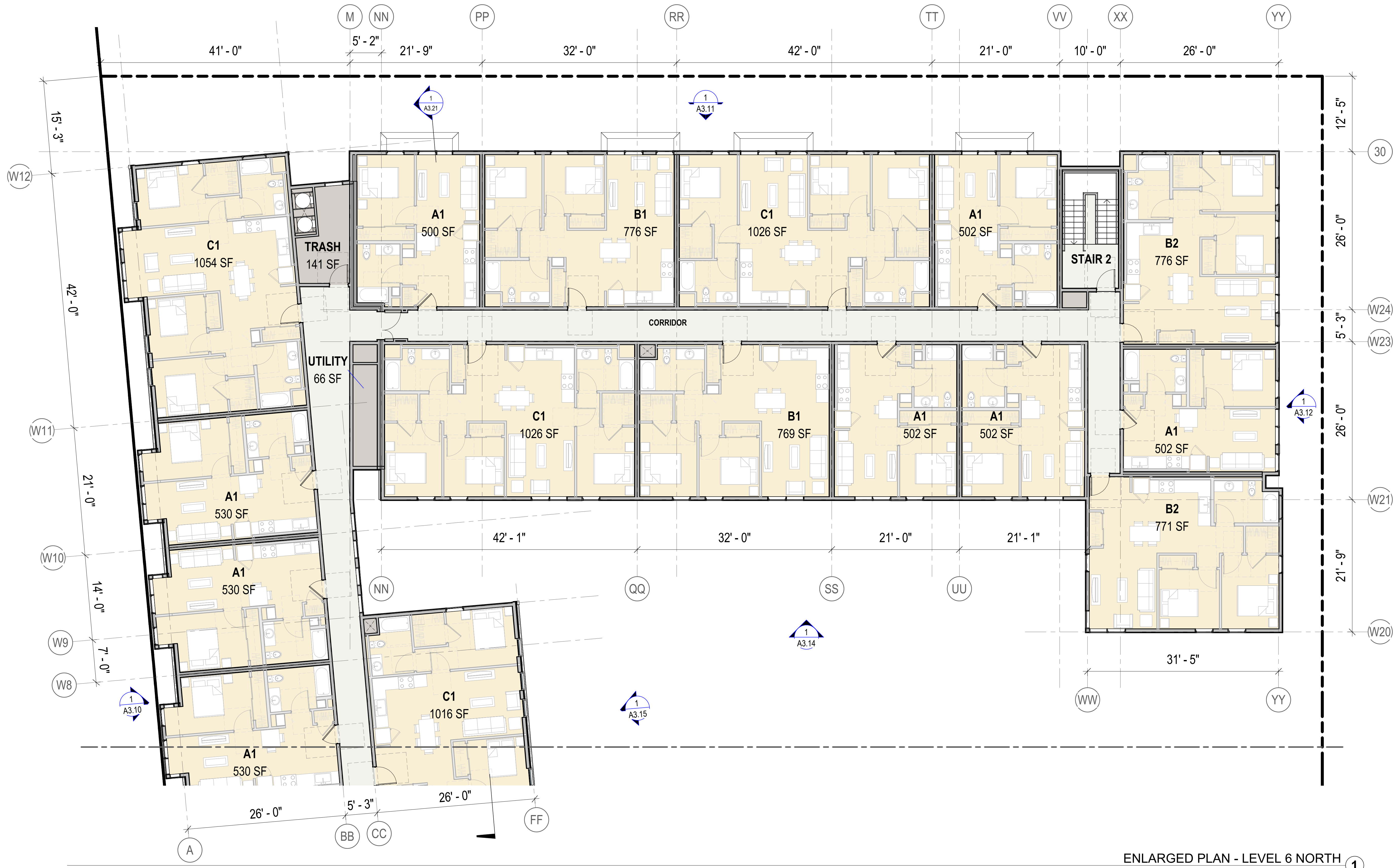


11x17 SCALE: 1/32" = 1'

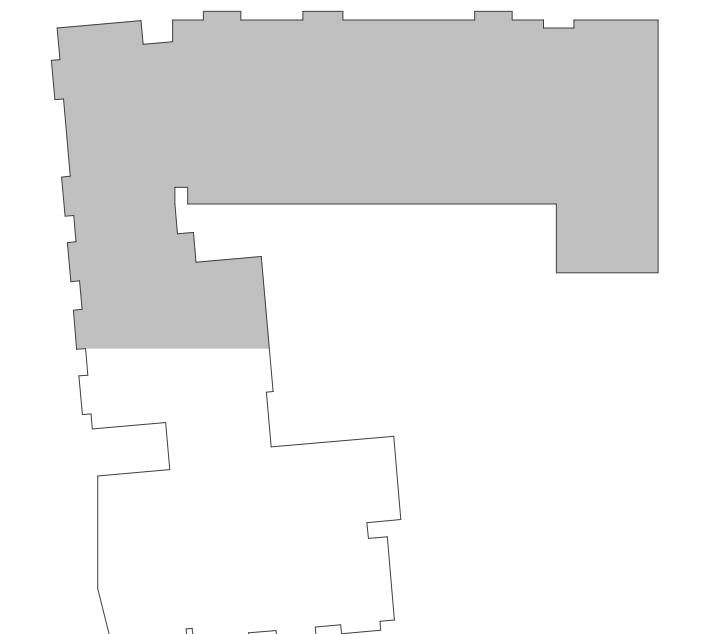


22x34 SCALE: 1/16" = 1'



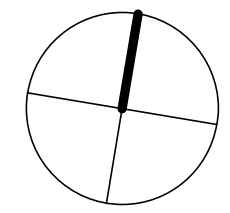


ENLARGED FLOOR PLAN KEY PLAN

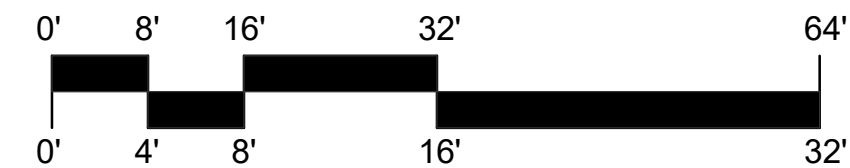


PLAN KEY:

- SERVICE
- AMENITY
- GREEN SPACE
- RESIDENTIAL



11x17 SCALE: 1/16" = 1'

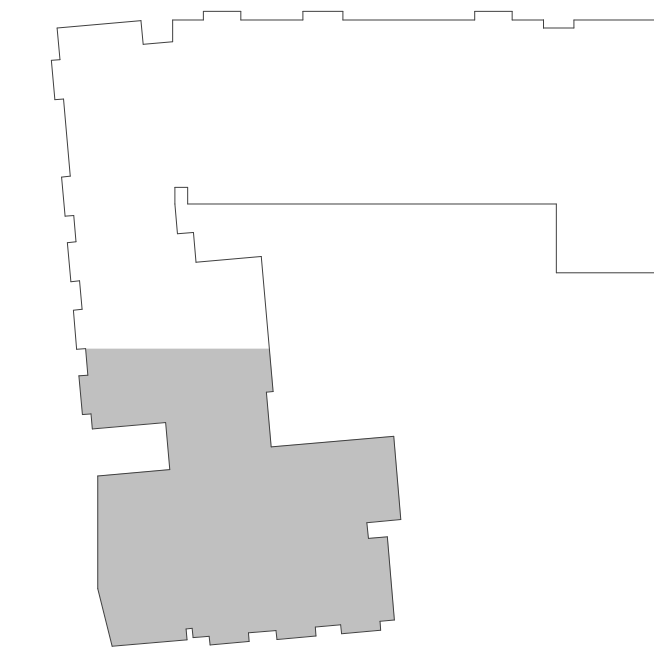


22x34 SCALE: 1/8" = 1'

ENLARGED PLAN - LEVEL 6 NORTH
1/8" = 1'-0" ①

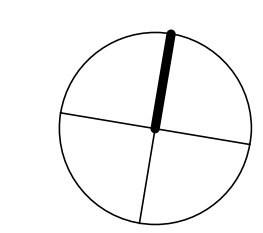


ENLARGED FLOOR PLAN KEY PLAN

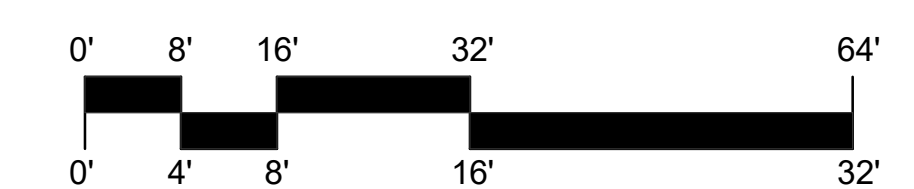


PLAN KEY:

- SERVICE
- AMENITY
- GREEN SPACE
- RESIDENTIAL

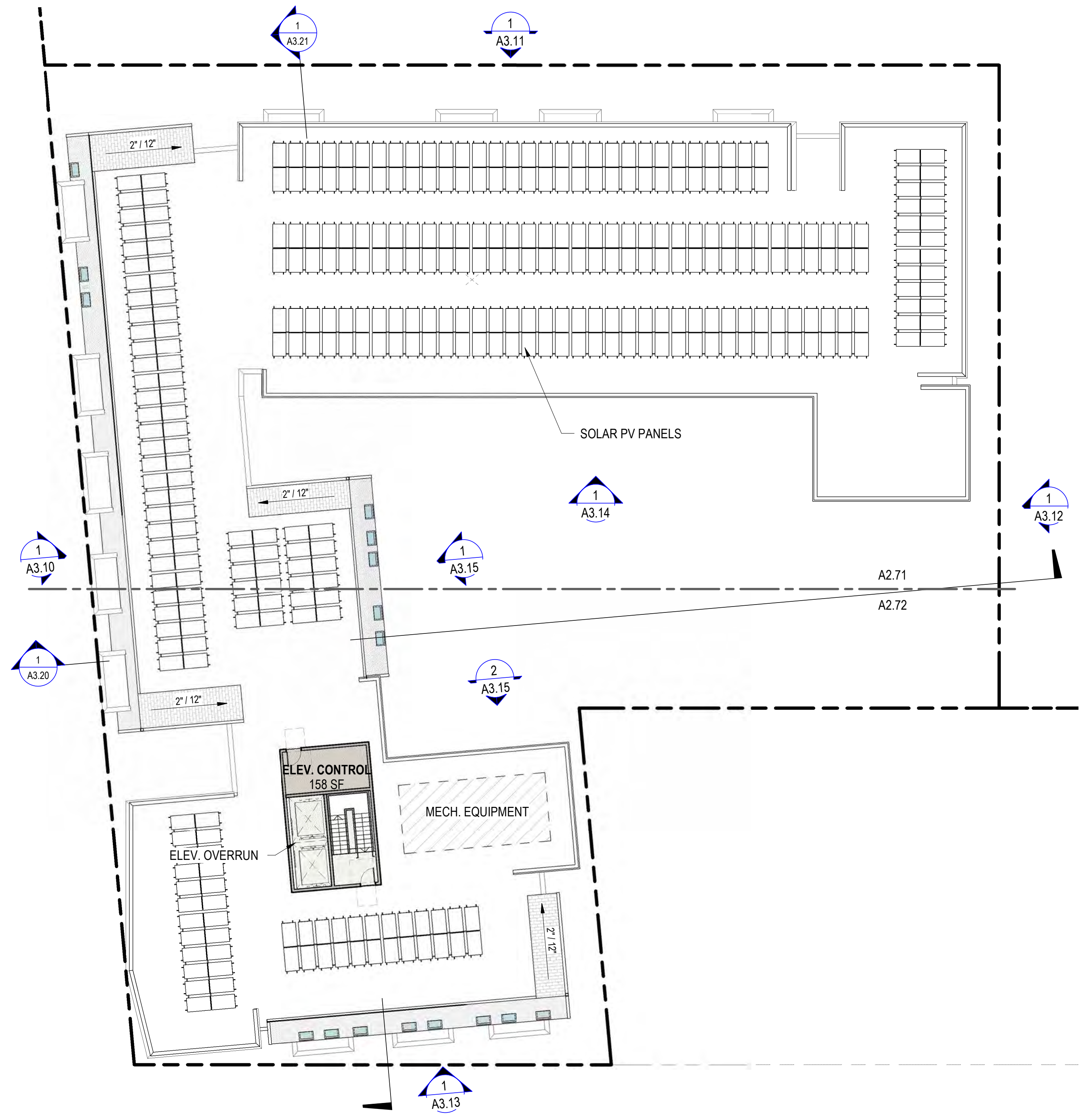


11x17 SCALE: 1/16" = 1'



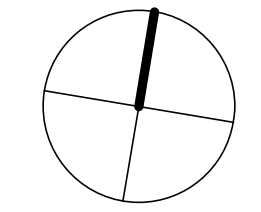
22x34 SCALE: 1/8" = 1'

ENLARGED PLAN - LEVEL 6 SOUTH
1/8" = 1'-0" ①

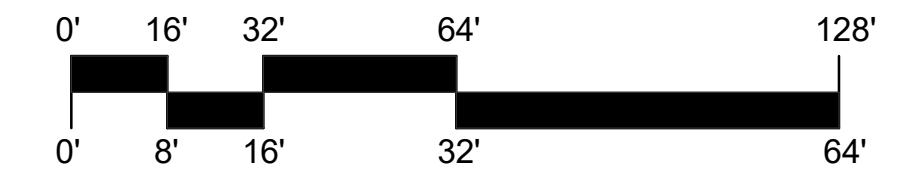


BUILDING PLAN - ROOF ①
1/16" = 1'-0"

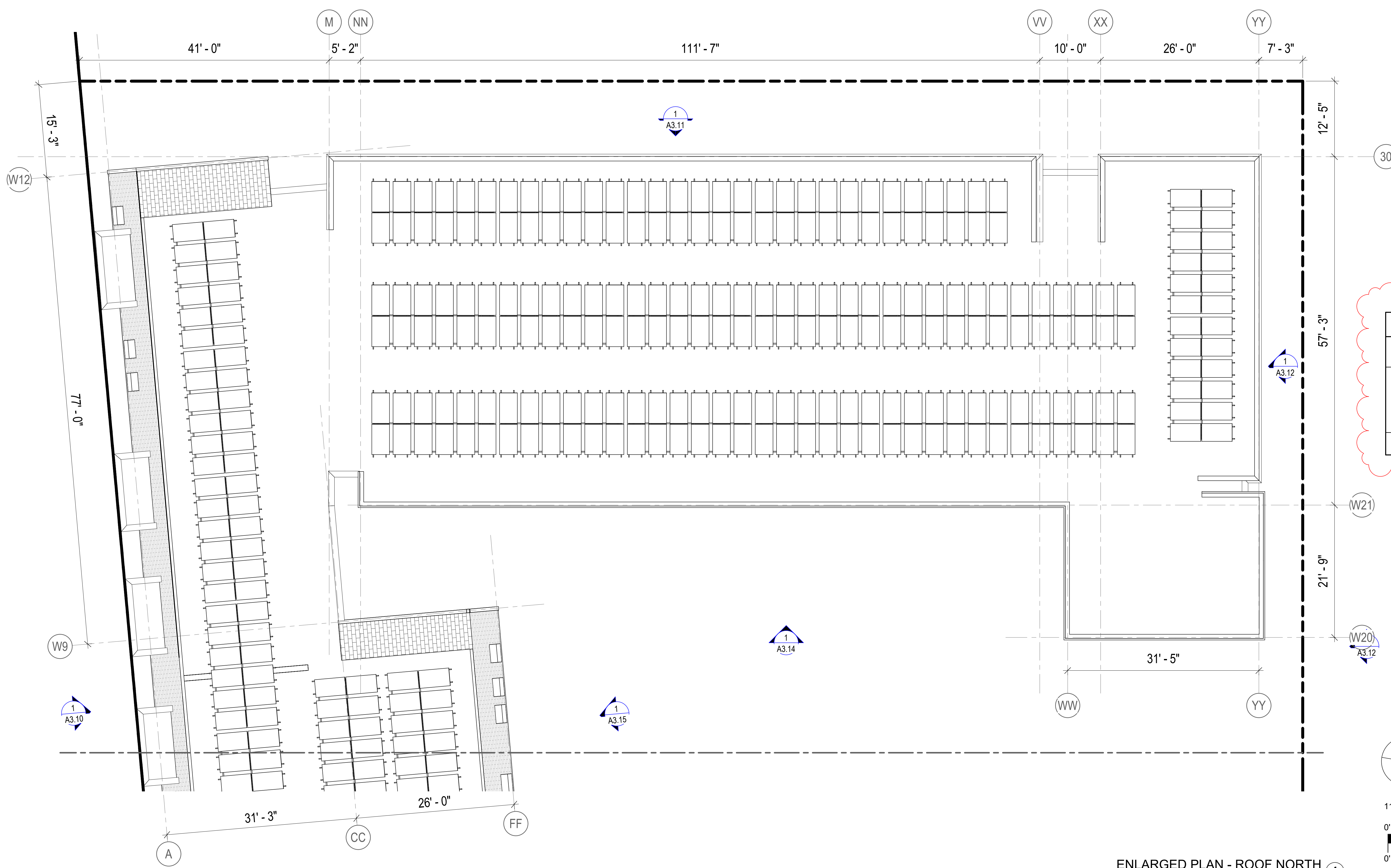
ROOF AREA CALCULATIONS	
AVG. FLOOR AREA	17,431 ft.
ROOFTOP ARCH. ELEMENT (STAIR, ELEV. CONTROL, ELEV. OVERRUN)	570 ft.
$570 / 17,431 =$	3.3%



11x17 SCALE: 1/32" = 1'

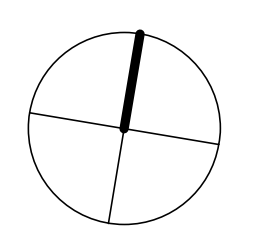
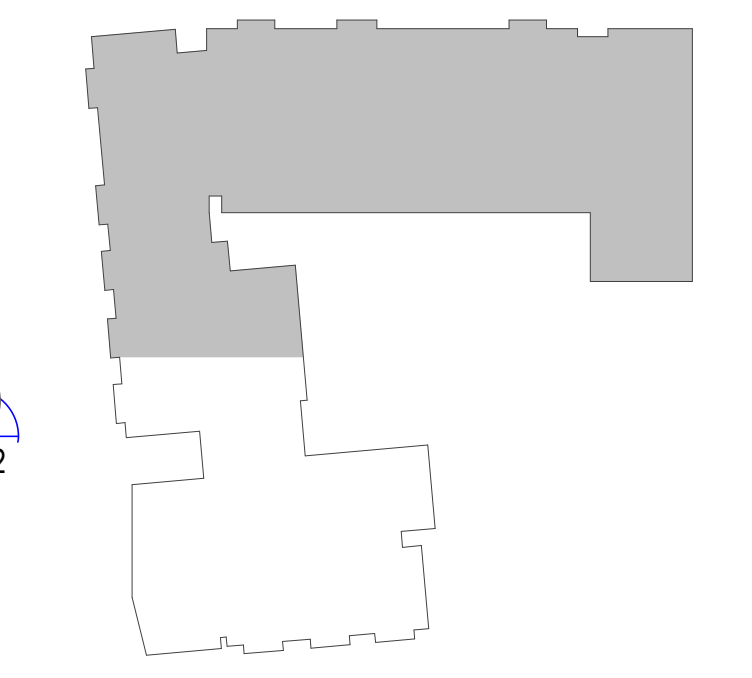


22x34 SCALE: 1/16" = 1'

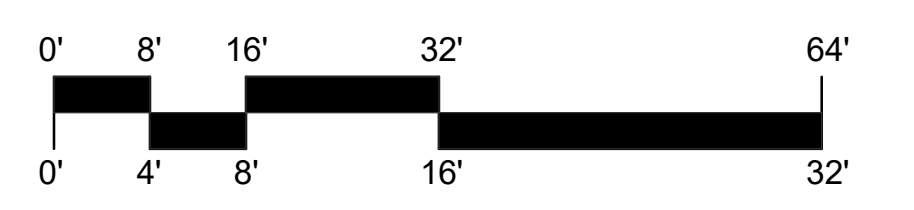


ROOF AREA CALCULATIONS	
AVG. FLOOR AREA	17,431 ft.
ROOFTOP ARCH. ELEMENT (STAIR, ELEV. CONTROL, ELEV. OVERRUN)	570 ft.
	$570 / 17,431 = 3.3\%$

**ENLARGED FLOOR PLAN
KEY PLAN**

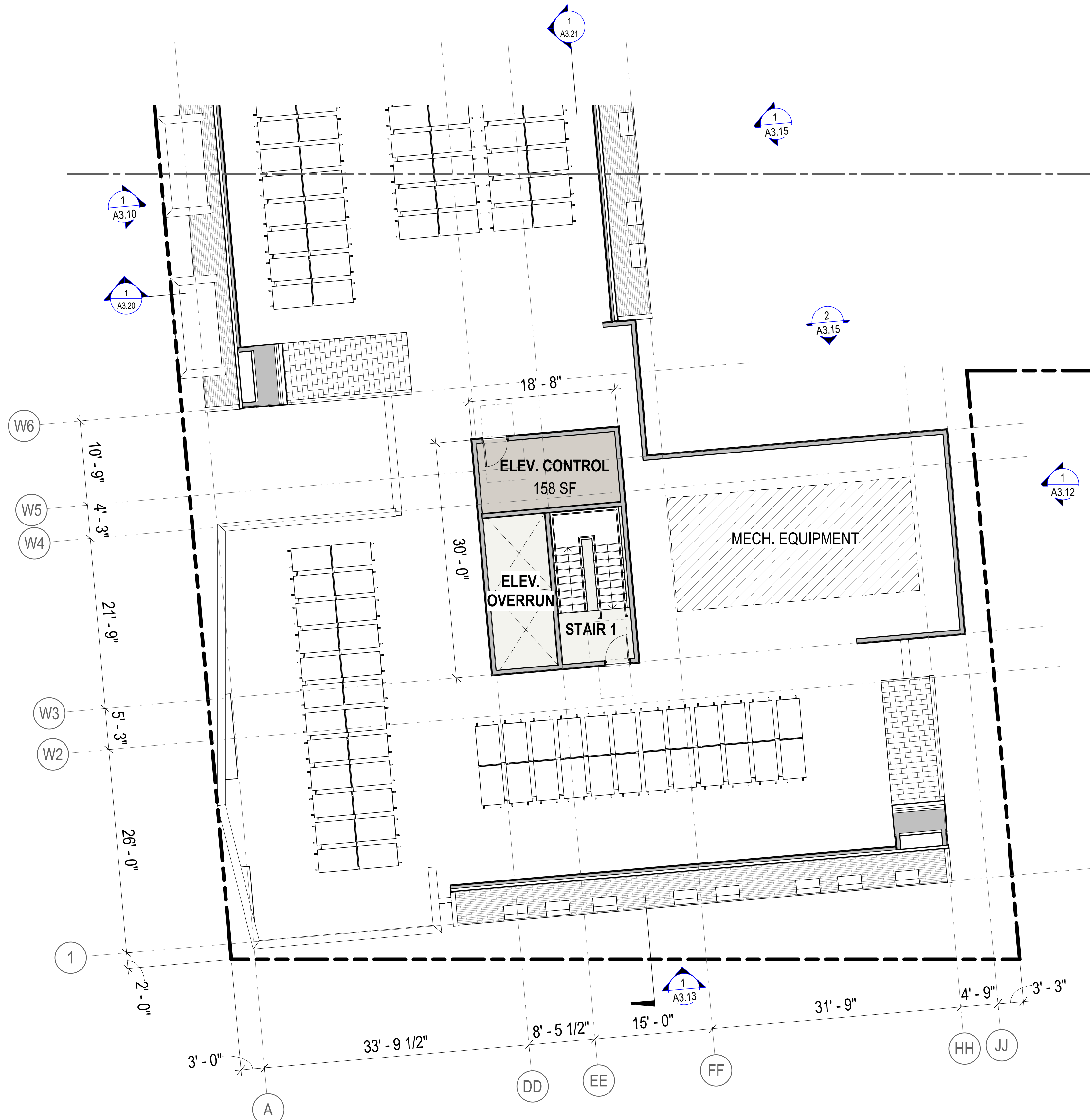


11x17 SCALE: 1/16" = 1'



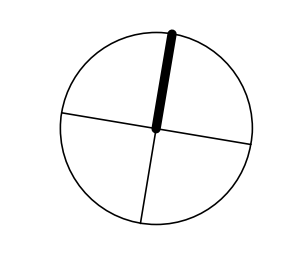
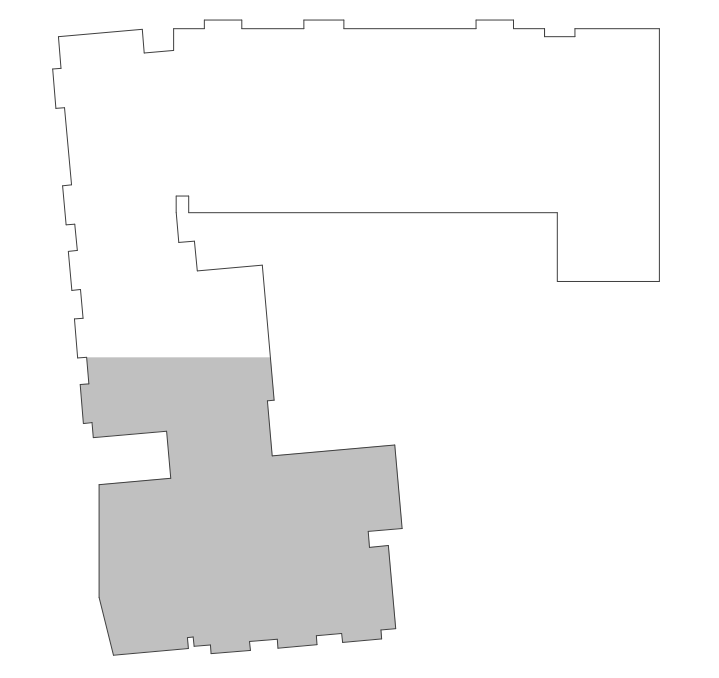
22x34 SCALE: 1/8" = 1'

ENLARGED PLAN - ROOF NORTH 1
1/8" = 1'-0"

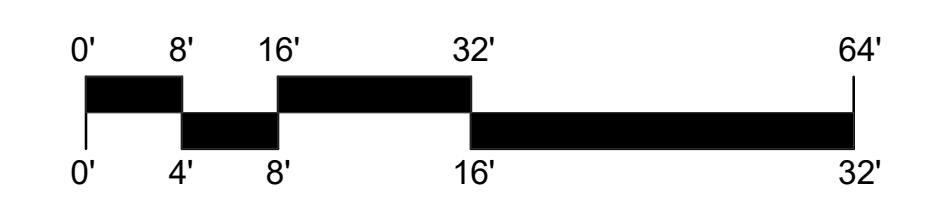


ROOF AREA CALCULATIONS	
AVG. FLOOR AREA	17,431 ft.
ROOFTOP ARCH. ELEMENT (STAIR, ELEV. CONTROL, ELEV. OVERRUN)	570 ft.
$570 / 17,431 =$	3.3%

**ENLARGED FLOOR PLAN
KEY PLAN**

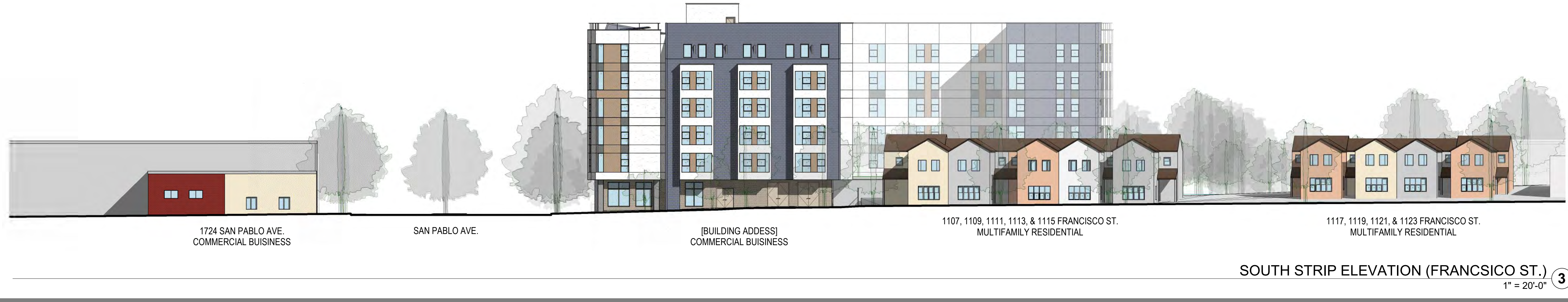


11x17 SCALE: 1/16" = 1'



22x34 SCALE: 1/8" = 1'

ENLARGED PLAN - ROOF SOUTH ①
1/8" = 1'-0"





EXTERIOR MATERIAL LEGEND & TABULATION

KEYNOTE	MATERIAL	APPROX. AREA
AP-D	2105 - Accent Panel - Dark	2524 SF
AP-W	2105 - Accent Panel - Wood Texture	4266 SF
CNC	2105 - Board Form Concrete	1329 SF
CNC	2105 - Concrete	5420 SF
GSC	2105 - Garage Screen	1891 SF
MSN	2105 - Masonry Tile - Light	2810 SF
MTL	2105 - Metal Edge Trim	1393 SF
MTL	2105 - Metal Shingle (Roof)	3199 SF
MTL	2105 - Metal Shingle (Wall)	11776 SF
ST-B	2105 - Stucco - Blue	5205 SF
ST-G	2105 - Stucco - Dark Grey	2814 SF
ST-W	2105 - Stucco - White	25270 SF
		67897 SF

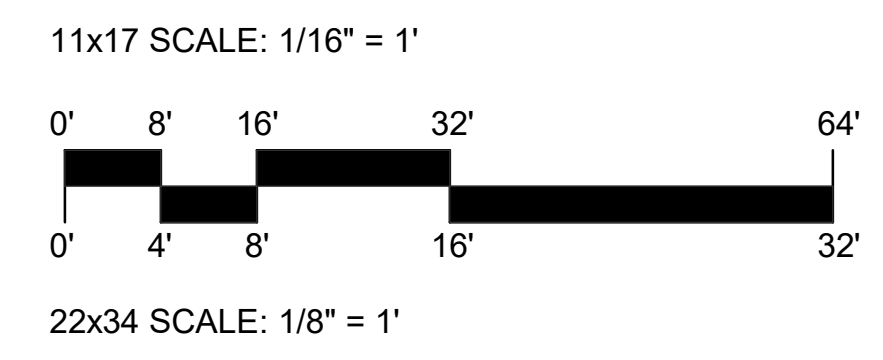
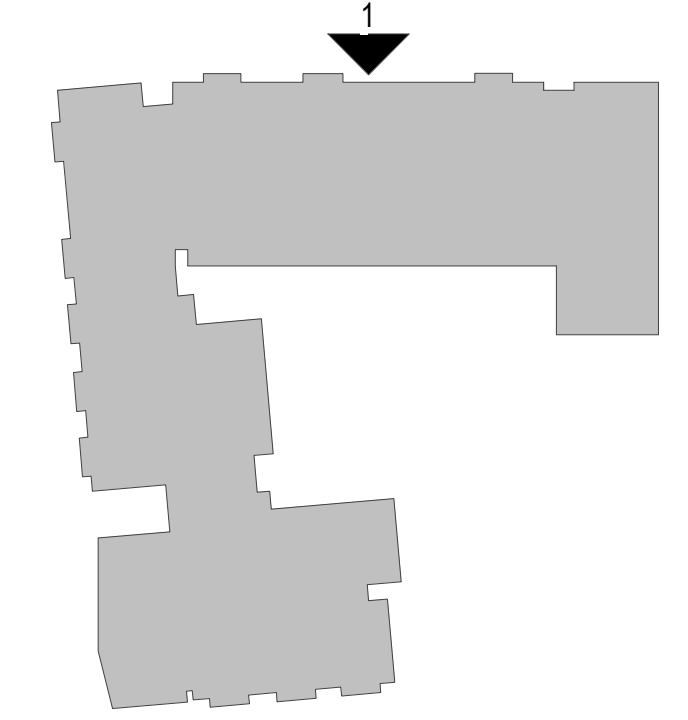




NORTH ELEVATION (FACING VIRGINIA ST.) 1
1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND & TABULATION		
KEYNOTE	MATERIAL	APPROX. AREA
AP-D	2105 - Accent Panel - Dark	2524 SF
AP-W	2105 - Accent Panel - Wood Texture	4266 SF
CNC	2105 - Board Form Concrete	1329 SF
CNC	2105 - Concrete	5420 SF
GSC	2105 - Garage Screen	1891 SF
MSN	2105 - Masonry Tile - Light	2810 SF
MTL	2105 - Metal Edge Trim	1393 SF
MTL	2105 - Metal Shingle (Roof)	3199 SF
MTL	2105 - Metal Shingle (Wall)	11776 SF
ST-B	2105 - Stucco - Blue	5205 SF
ST-G	2105 - Stucco - Dark Grey	2814 SF
ST-W	2105 - Stucco - White	25270 SF
		67897 SF

ELEVATION KEY PLAN

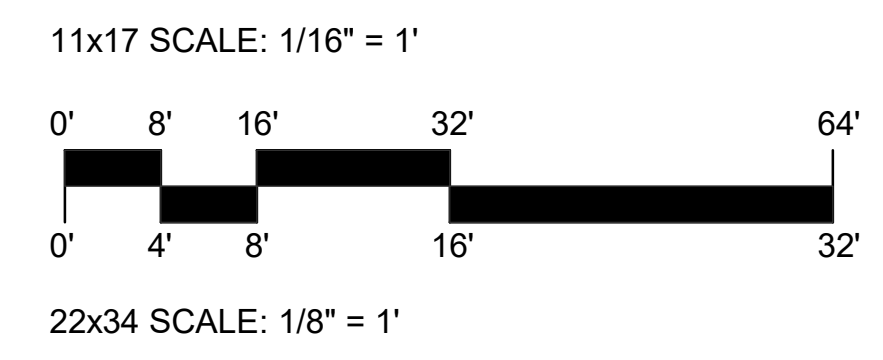
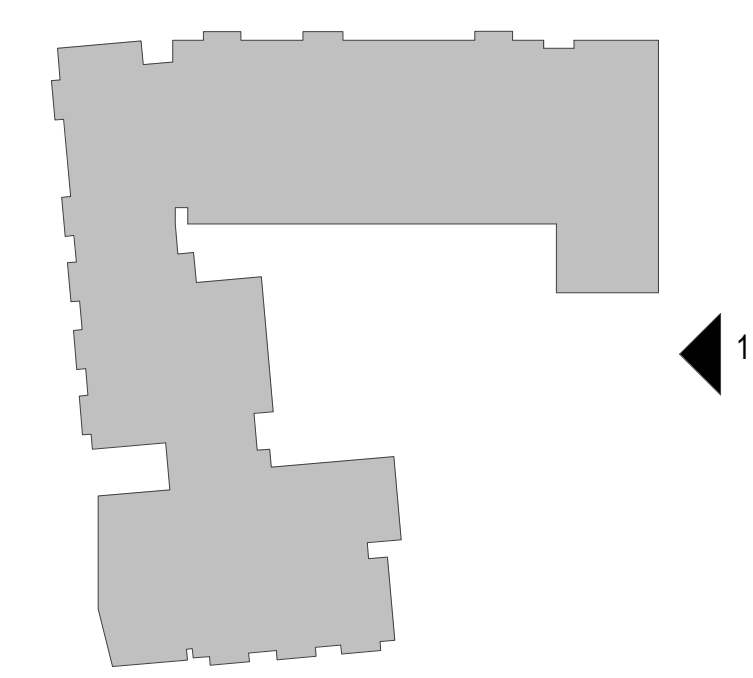


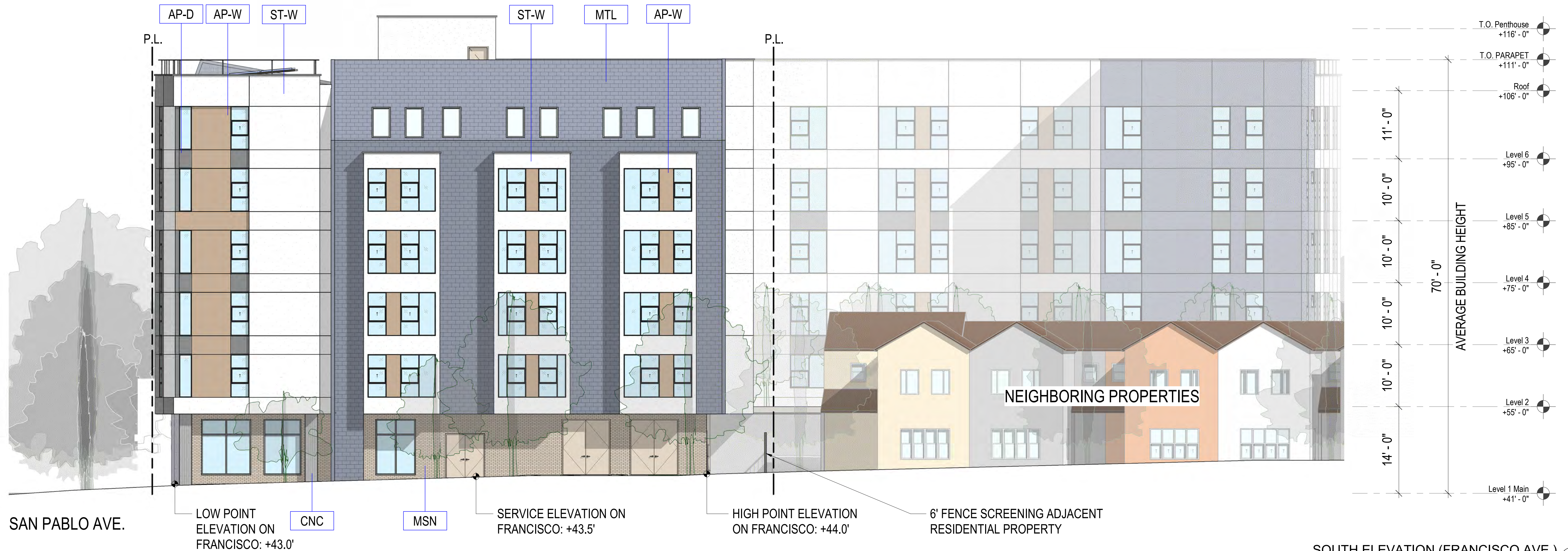


EAST ELEVATION (FACING BAS) 1
1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND & TABULATION		
KEYNOTE	MATERIAL	APPROX. AREA
AP-D	2105 - Accent Panel - Dark	2524 SF
AP-W	2105 - Accent Panel - Wood Texture	4266 SF
CNC	2105 - Board Form Concrete	1329 SF
CNC	2105 - Concrete	5420 SF
GSC	2105 - Garage Screen	1891 SF
MSN	2105 - Masonry Tile - Light	2810 SF
MTL	2105 - Metal Edge Trim	1393 SF
MTL	2105 - Metal Shingle (Roof)	3199 SF
MTL	2105 - Metal Shingle (Wall)	11776 SF
ST-B	2105 - Stucco - Blue	5205 SF
ST-G	2105 - Stucco - Dark Grey	2814 SF
ST-W	2105 - Stucco - White	25270 SF
		67897 SF

ELEVATION KEY PLAN

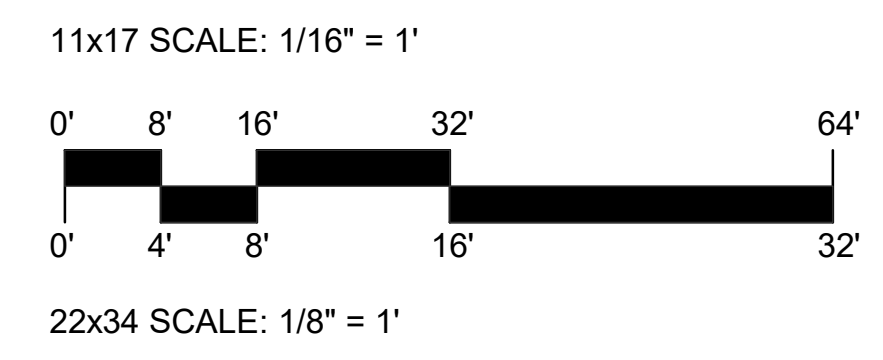
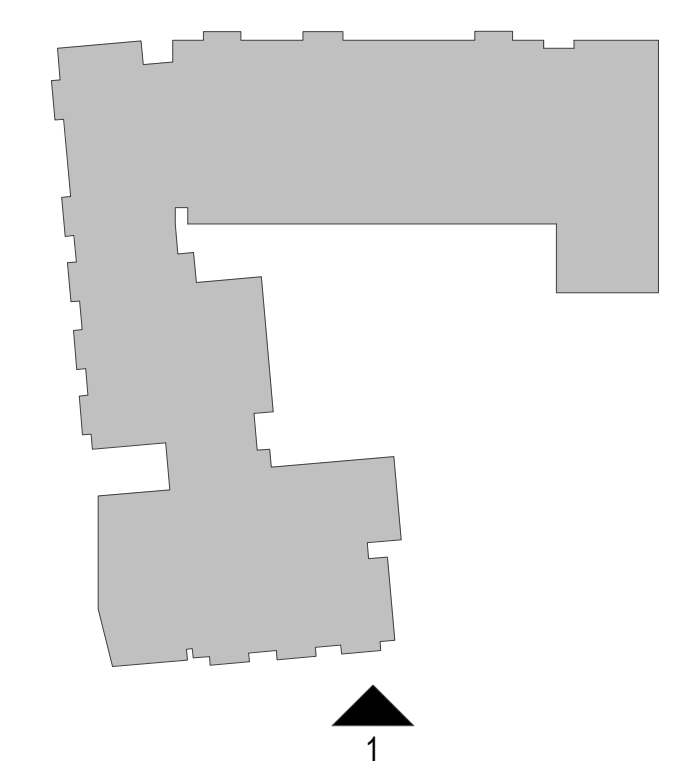




SOUTH ELEVATION (FRANCISCO AVE.) ①
1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND & TABULATION		
KEYNOTE	MATERIAL	APPROX. AREA
AP-D	2105 - Accent Panel - Dark	2524 SF
AP-W	2105 - Accent Panel - Wood Texture	4266 SF
CNC	2105 - Board Form Concrete	1329 SF
CNC	2105 - Concrete	5420 SF
GSC	2105 - Garage Screen	1891 SF
MSN	2105 - Masonry Tile - Light	2810 SF
MTL	2105 - Metal Edge Trim	1393 SF
MTL	2105 - Metal Shingle (Roof)	3199 SF
MTL	2105 - Metal Shingle (Wall)	11776 SF
ST-B	2105 - Stucco - Blue	5205 SF
ST-G	2105 - Stucco - Dark Grey	2814 SF
ST-W	2105 - Stucco - White	25270 SF
		67897 SF

ELEVATION KEY PLAN

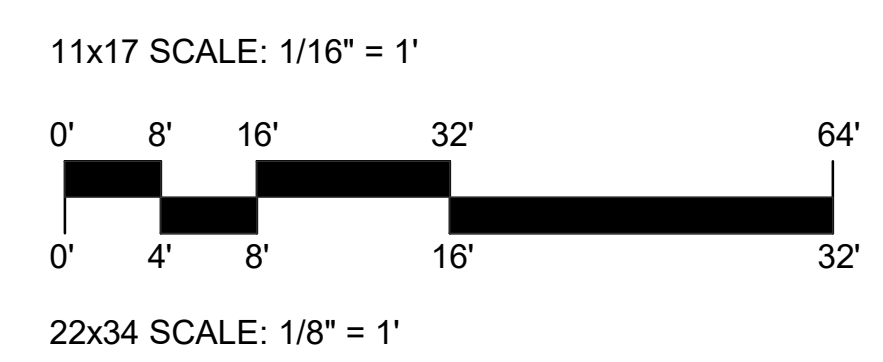
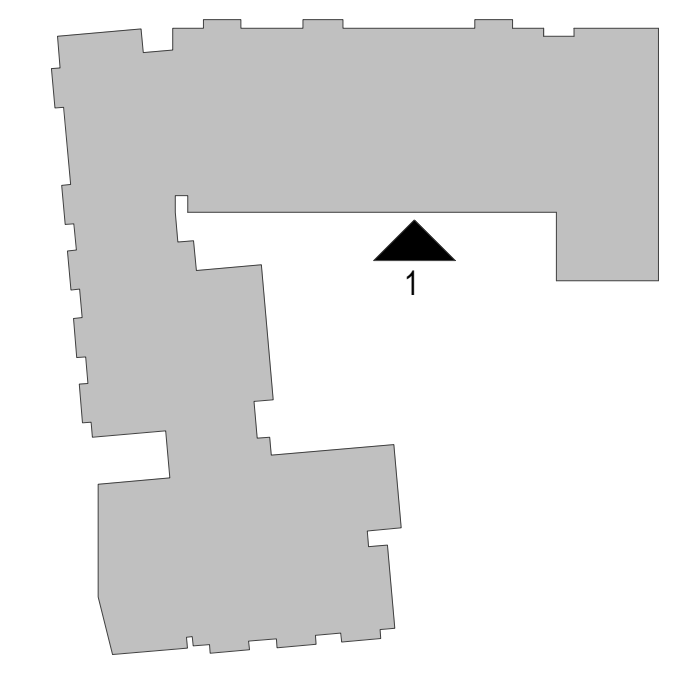




NORTH COURTYARD ELEVATION 1
1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND & TABULATION		
KEYNOTE	MATERIAL	APPROX. AREA
AP-D	2105 - Accent Panel - Dark	2524 SF
AP-W	2105 - Accent Panel - Wood Texture	4266 SF
CNC	2105 - Board Form Concrete	1329 SF
CNC	2105 - Concrete	5420 SF
GSC	2105 - Garage Screen	1891 SF
MSN	2105 - Masonry Tile - Light	2810 SF
MTL	2105 - Metal Edge Trim	1393 SF
MTL	2105 - Metal Shingle (Roof)	3199 SF
MTL	2105 - Metal Shingle (Wall)	11776 SF
ST-B	2105 - Stucco - Blue	5205 SF
ST-G	2105 - Stucco - Dark Grey	2814 SF
ST-W	2105 - Stucco - White	25270 SF
		67897 SF

ELEVATION KEY PLAN





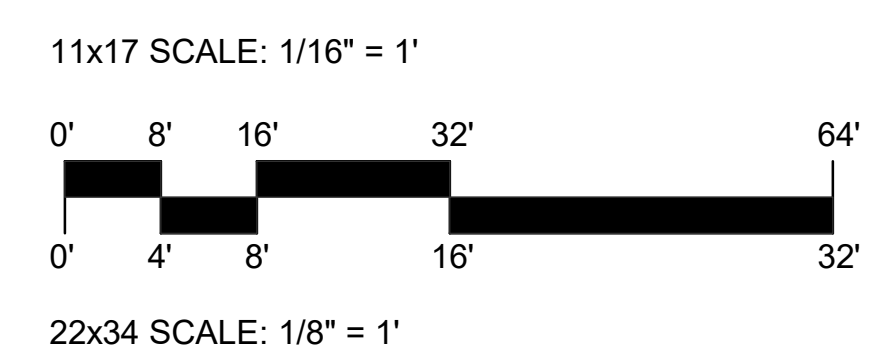
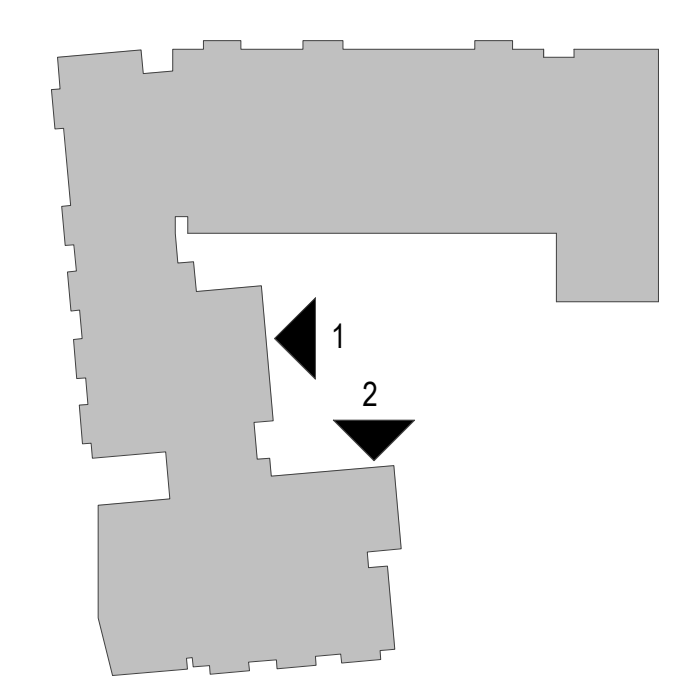
SOUTH COURTYARD ELEVATION 2
1/8" = 1'-0"

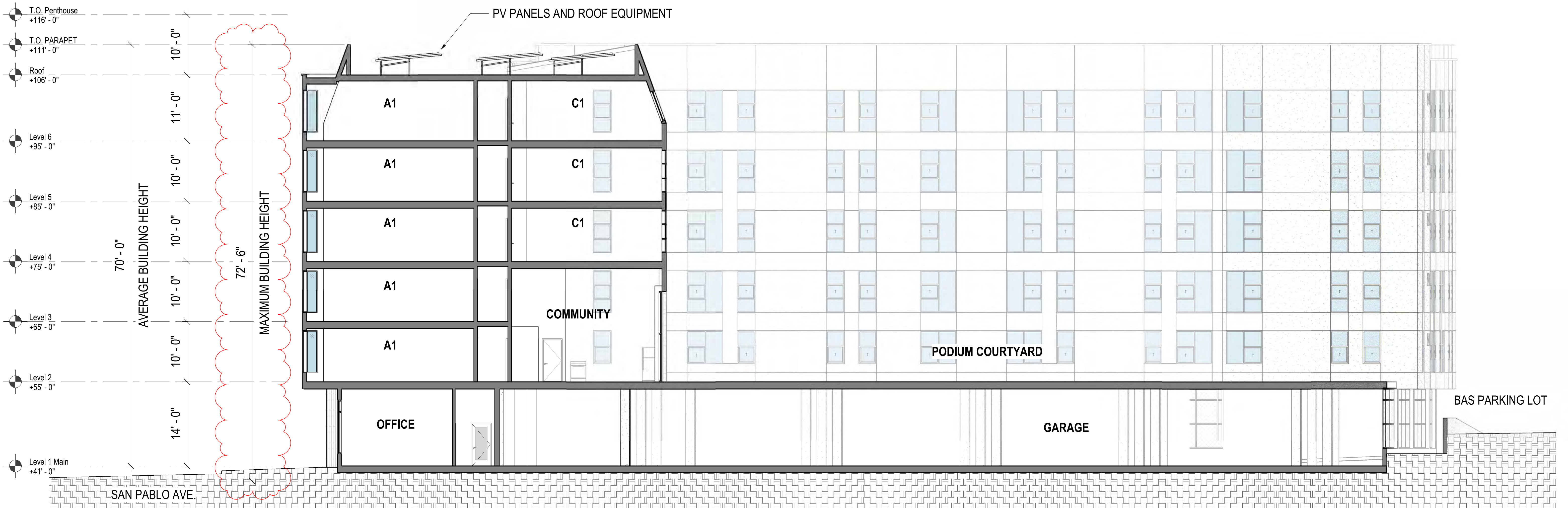


WEST COURTYARD ELEVATION 1
1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND & TABULATION		
KEYNOTE	MATERIAL	APPROX. AREA
AP-D	2105 - Accent Panel - Dark	2524 SF
AP-W	2105 - Accent Panel - Wood Texture	4266 SF
CNC	2105 - Board Form Concrete	1329 SF
CNC	2105 - Concrete	5420 SF
GSC	2105 - Garage Screen	1891 SF
MSN	2105 - Masonry Tile - Light	2810 SF
MTL	2105 - Metal Edge Trim	1393 SF
MTL	2105 - Metal Shingle (Roof)	3199 SF
MTL	2105 - Metal Shingle (Wall)	11776 SF
ST-B	2105 - Stucco - Blue	5205 SF
ST-G	2105 - Stucco - Dark Grey	2814 SF
ST-W	2105 - Stucco - White	25270 SF
		67897 SF

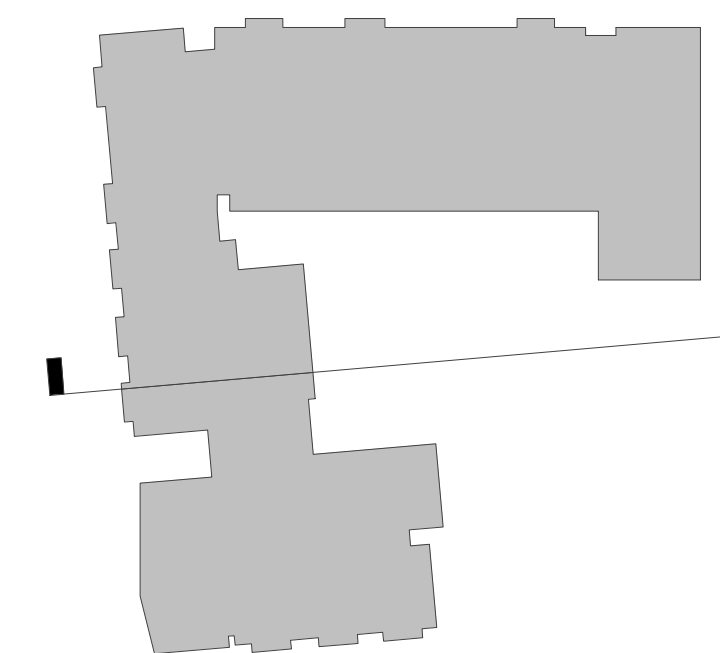
ELEVATION KEY PLAN



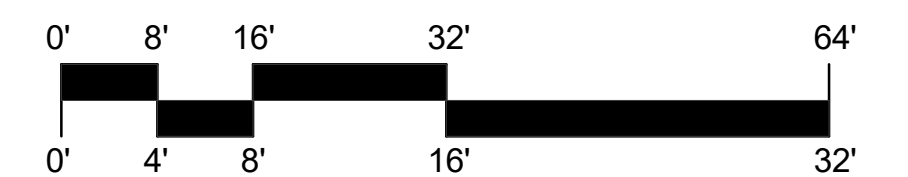


BUILDING SECTION LOOKING NORTH ①
1/8" = 1'-0"

SECTION KEY PLAN



11x17 SCALE: 1/16" = 1'

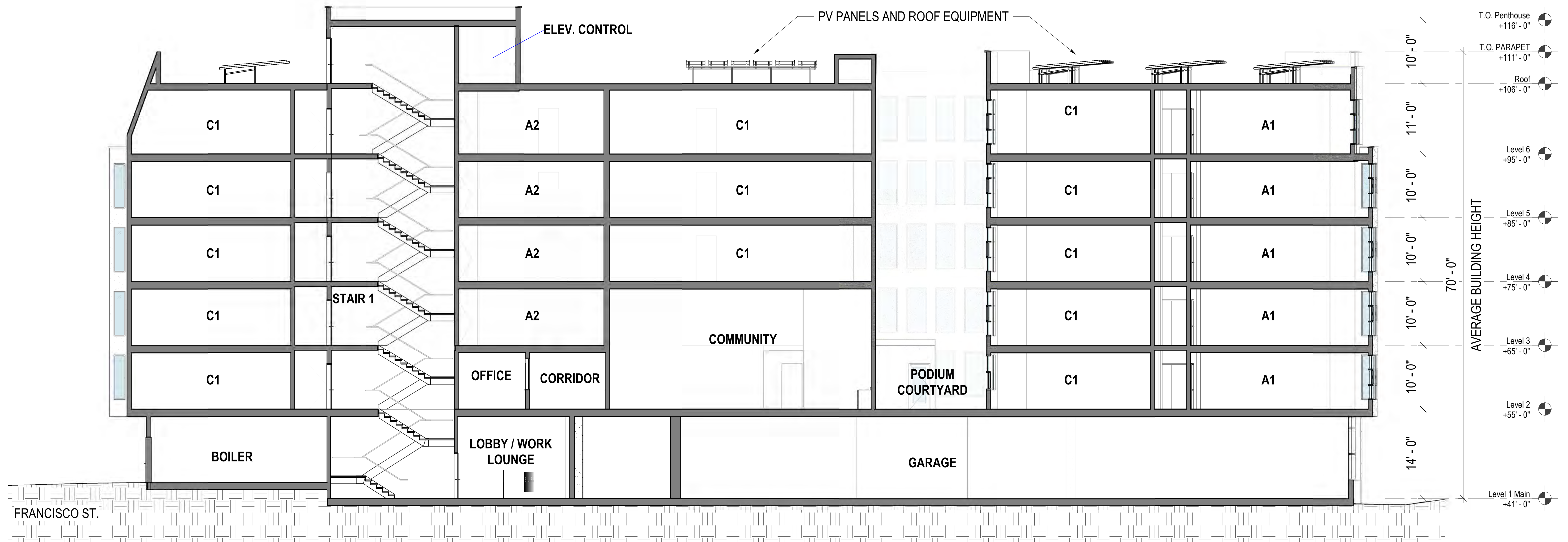


22x34 SCALE: 1/8" = 1'

BUILDING SECTION

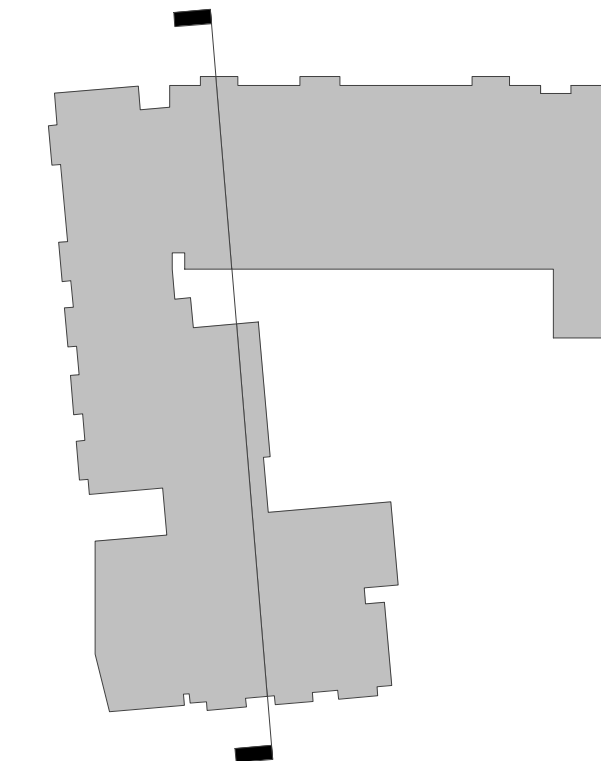
SB 35 APPLICATION | 02/17/2023



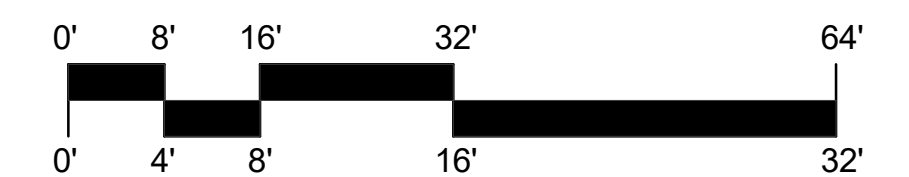


BUILDING SECTION LOOKING WEST 1
1/8" = 1'-0"

SECTION KEY PLAN



11x17 SCALE: 1/16" = 1'



22x34 SCALE: 1/8" = 1'

BUILDING SECTION

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A3.21



SOUTH-WEST PERSPECTIVE - FROM SAN PABLO



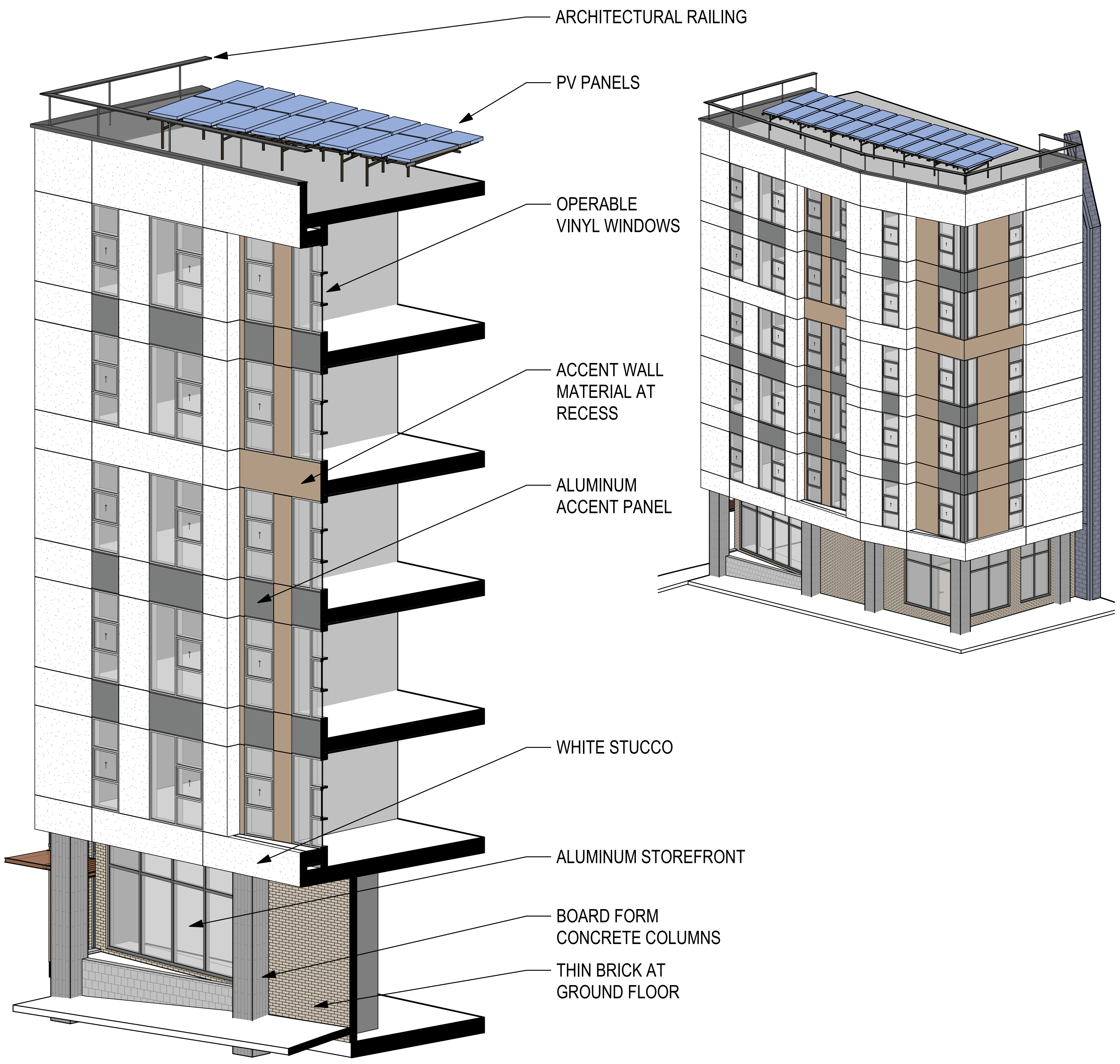
NORTH-WEST PERSPECTIVE - FROM SAN PABLO



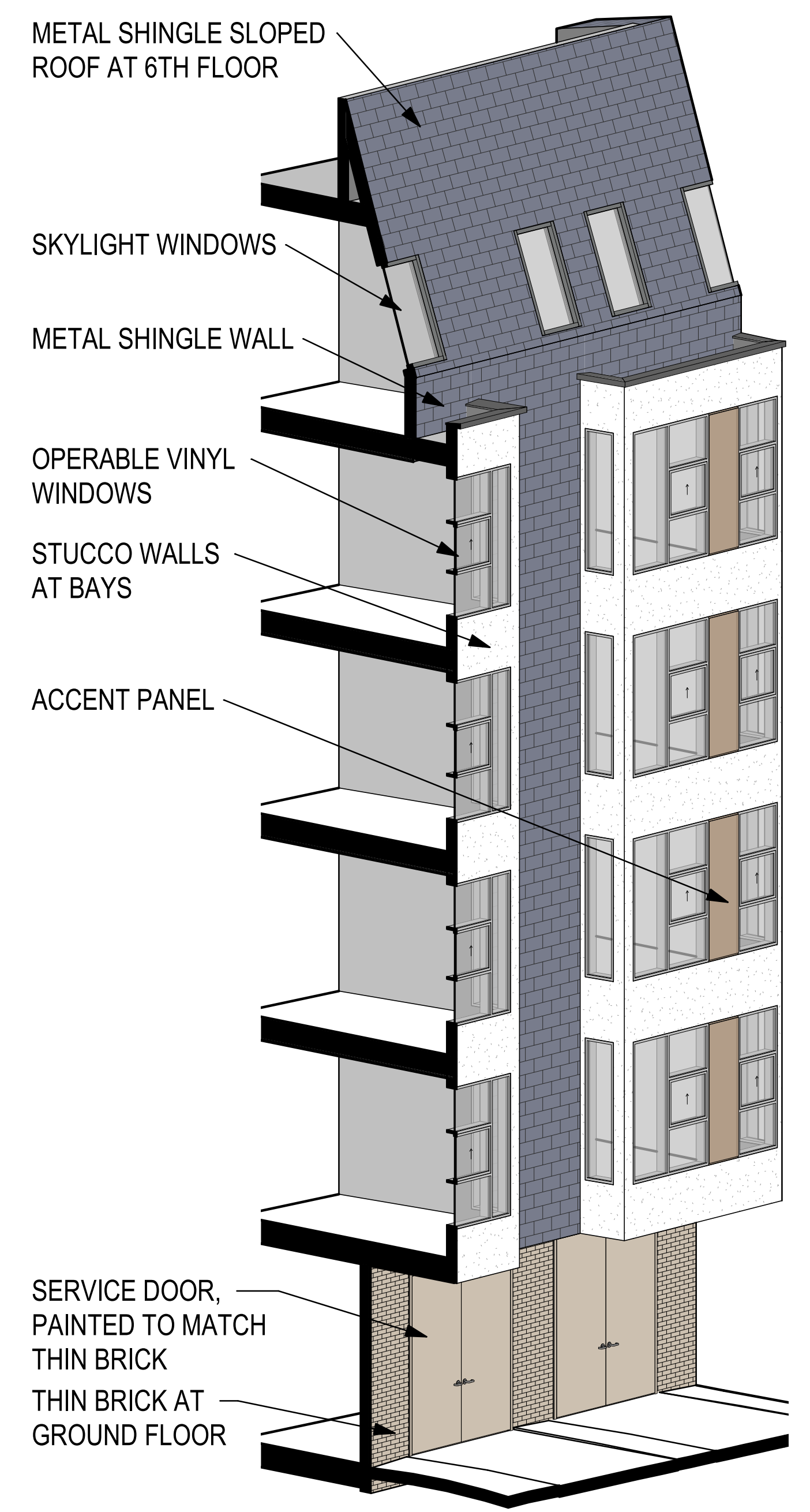
SOUTH-EAST PERSPECTIVE - FROM FRANCISCO



COURTYARD PERSPECTIVE



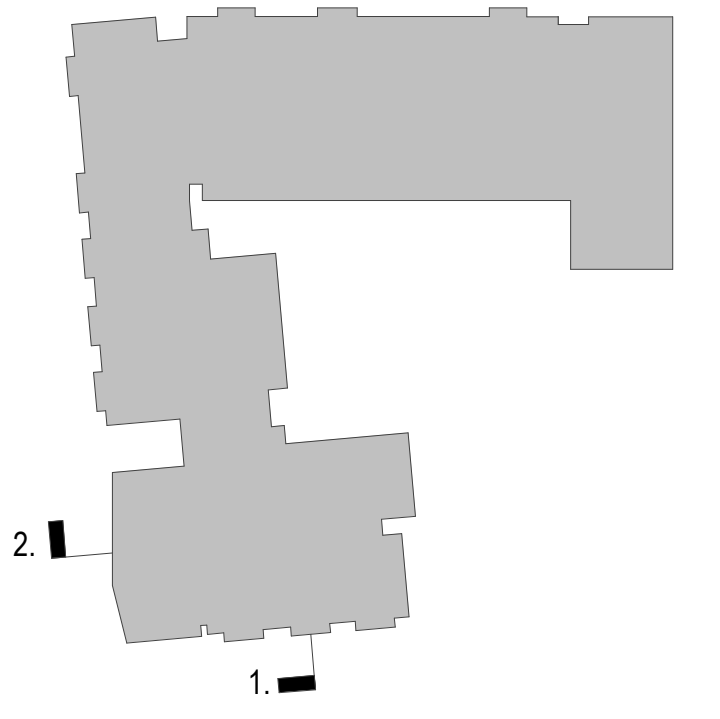
San Pablo - Corner at Francisco ②



WALL SECTION - FRANCISCO ST. ①



WALL SECTION KEY PLAN





METAL CLADDING



FIBER CEMENT



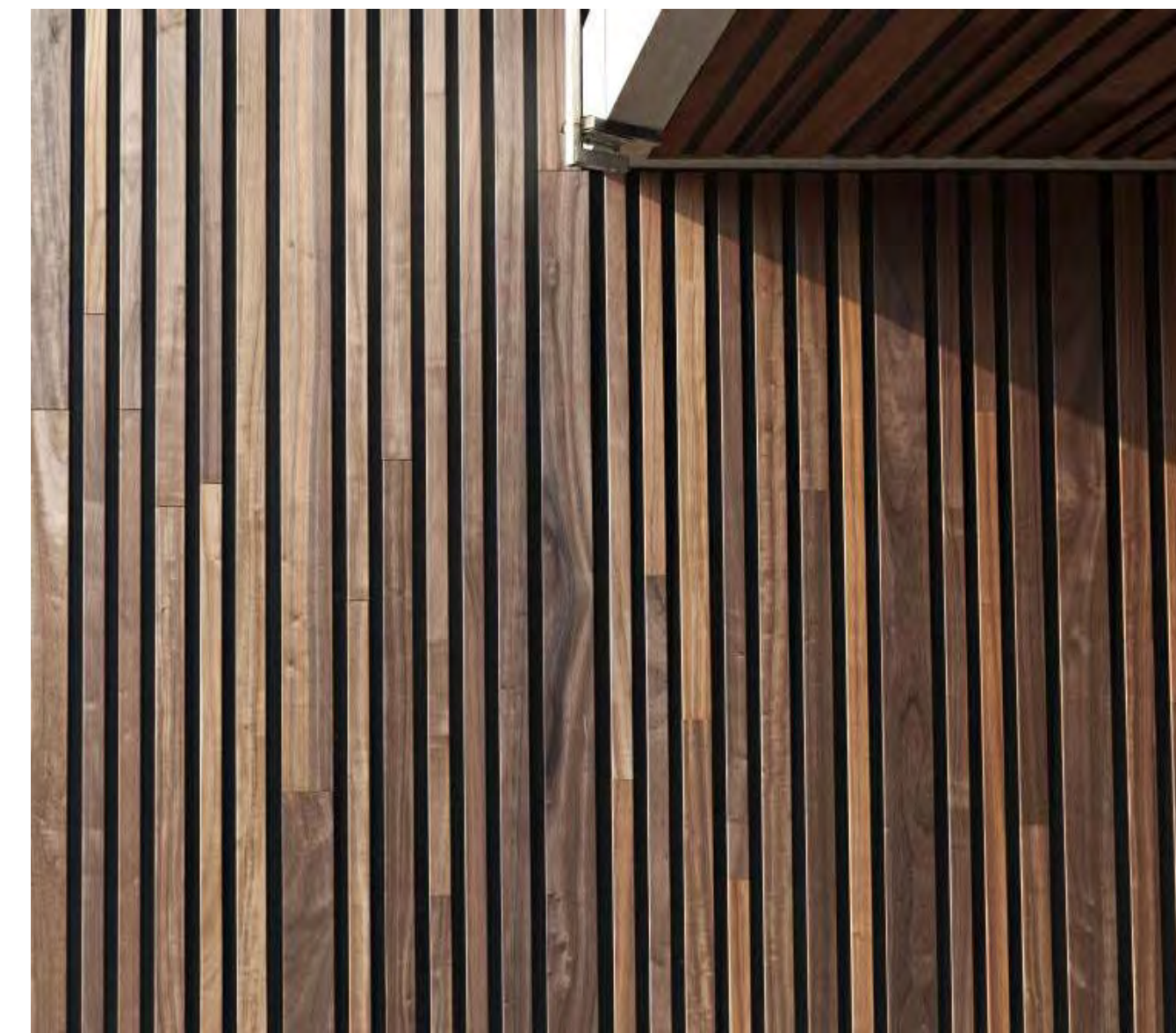
WOOD COMPOSITE SOFFIT



MASONRY

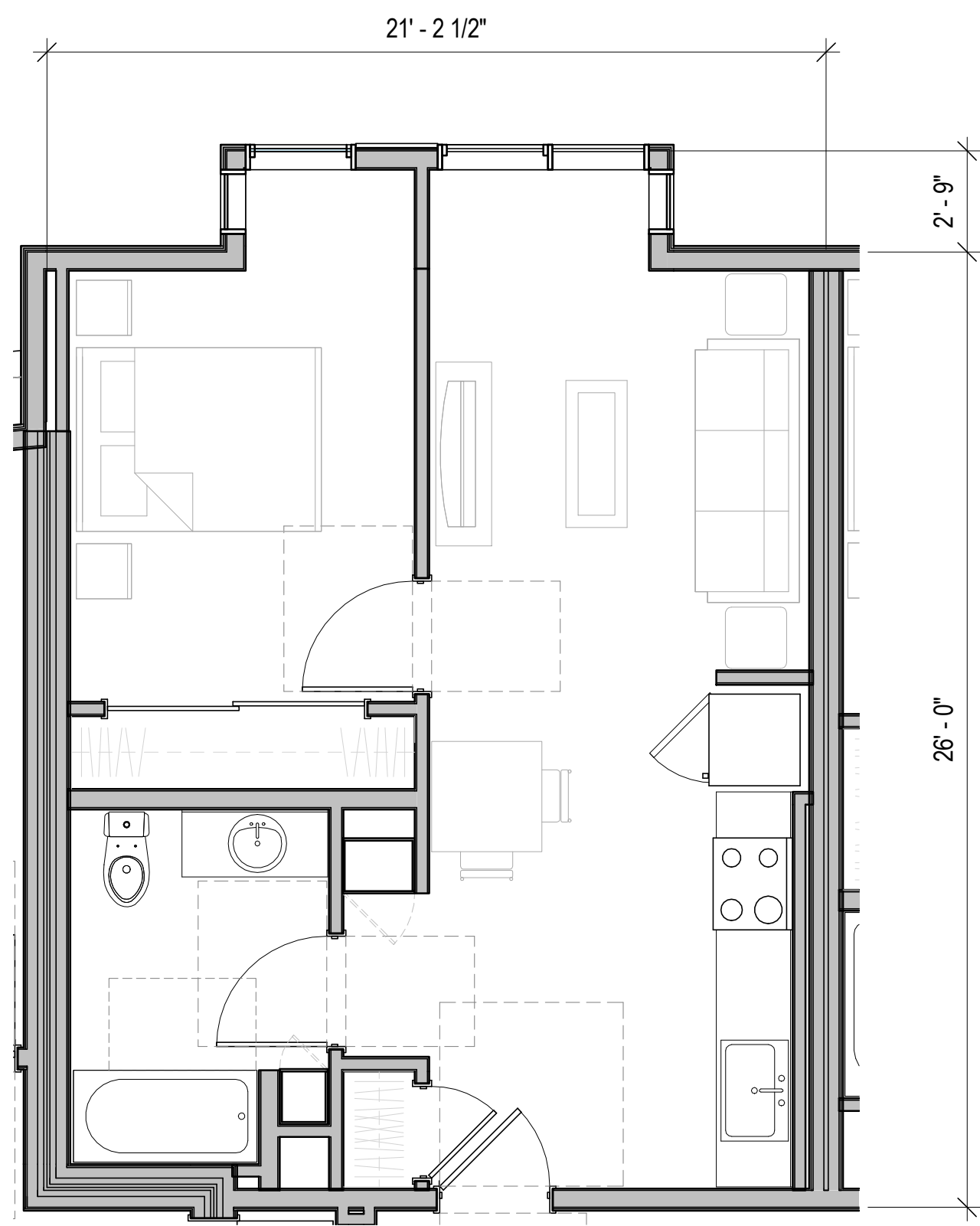


CEMENT PLASTER

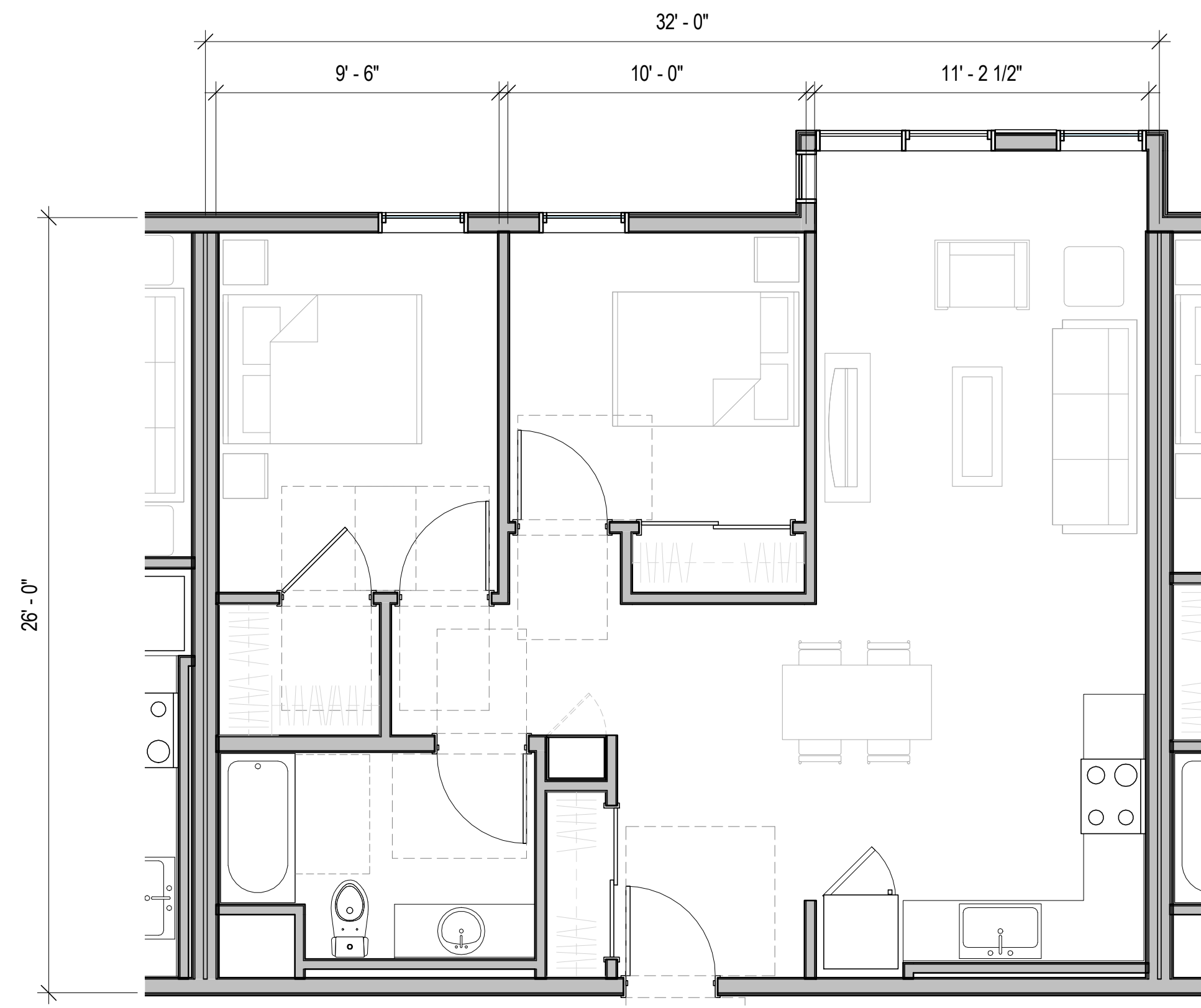


WOOD COMPOSITE SIDING

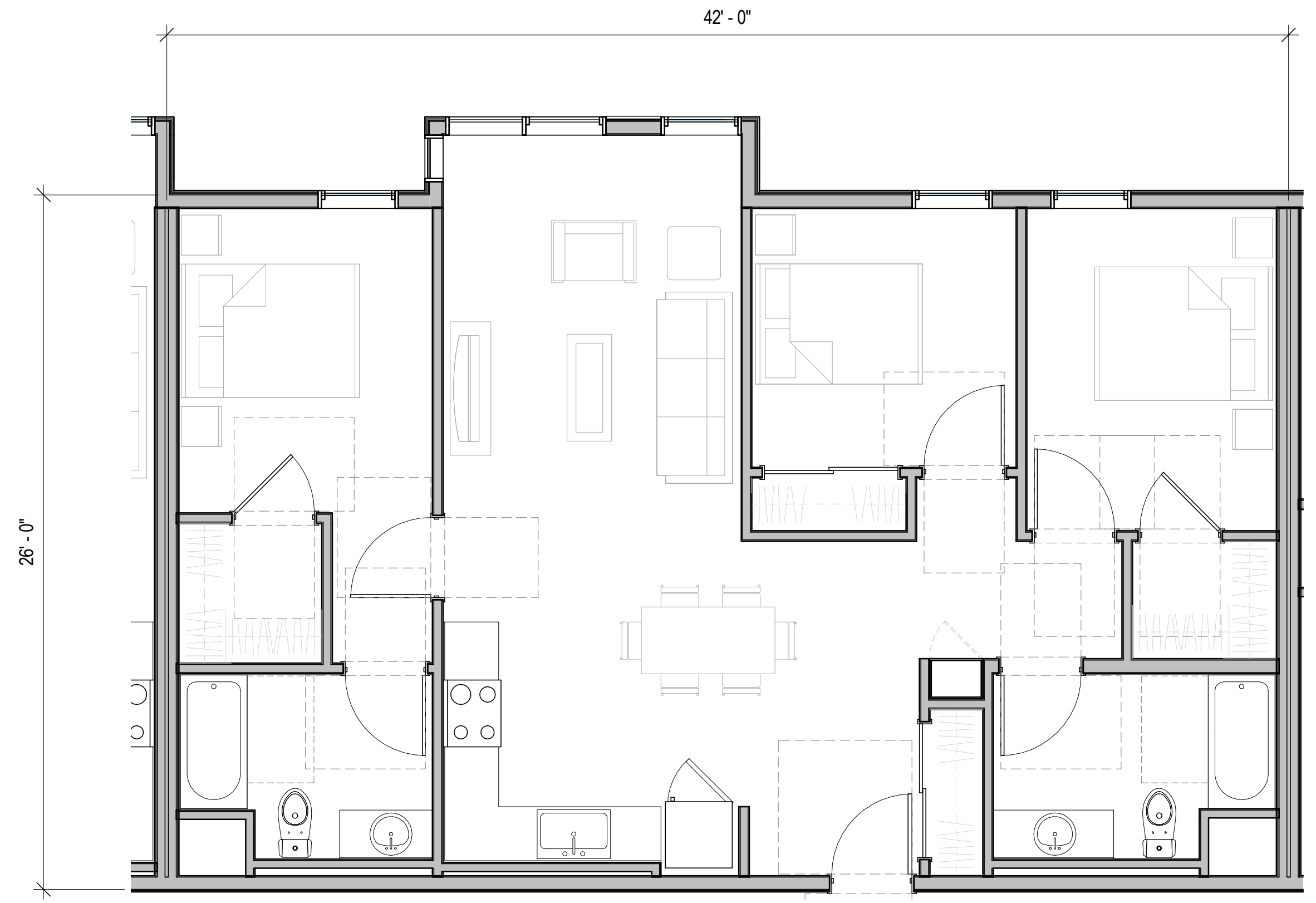




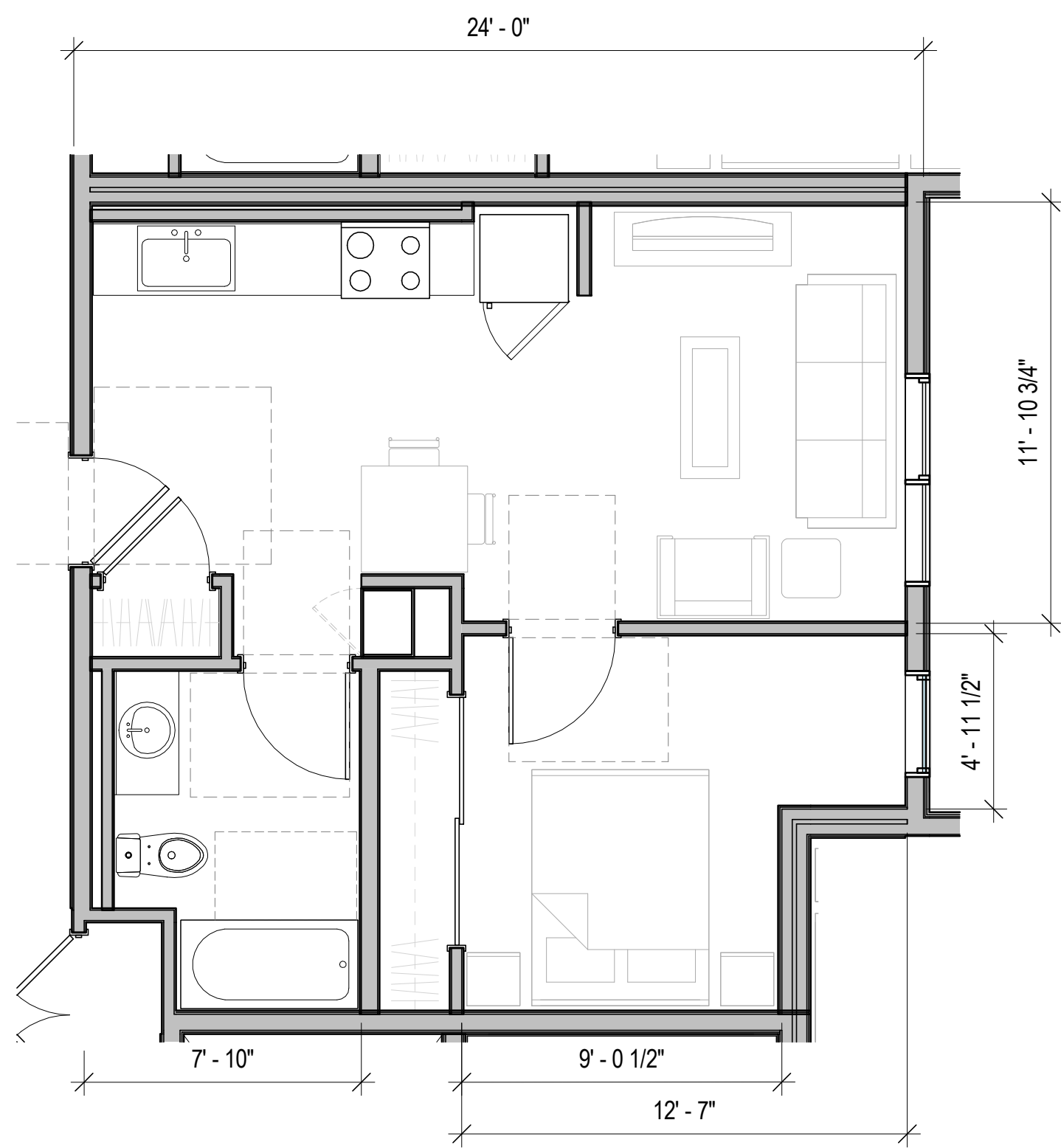
546 NET SF A1 - 1 BEDROOM ①
1/4" = 1'-0"



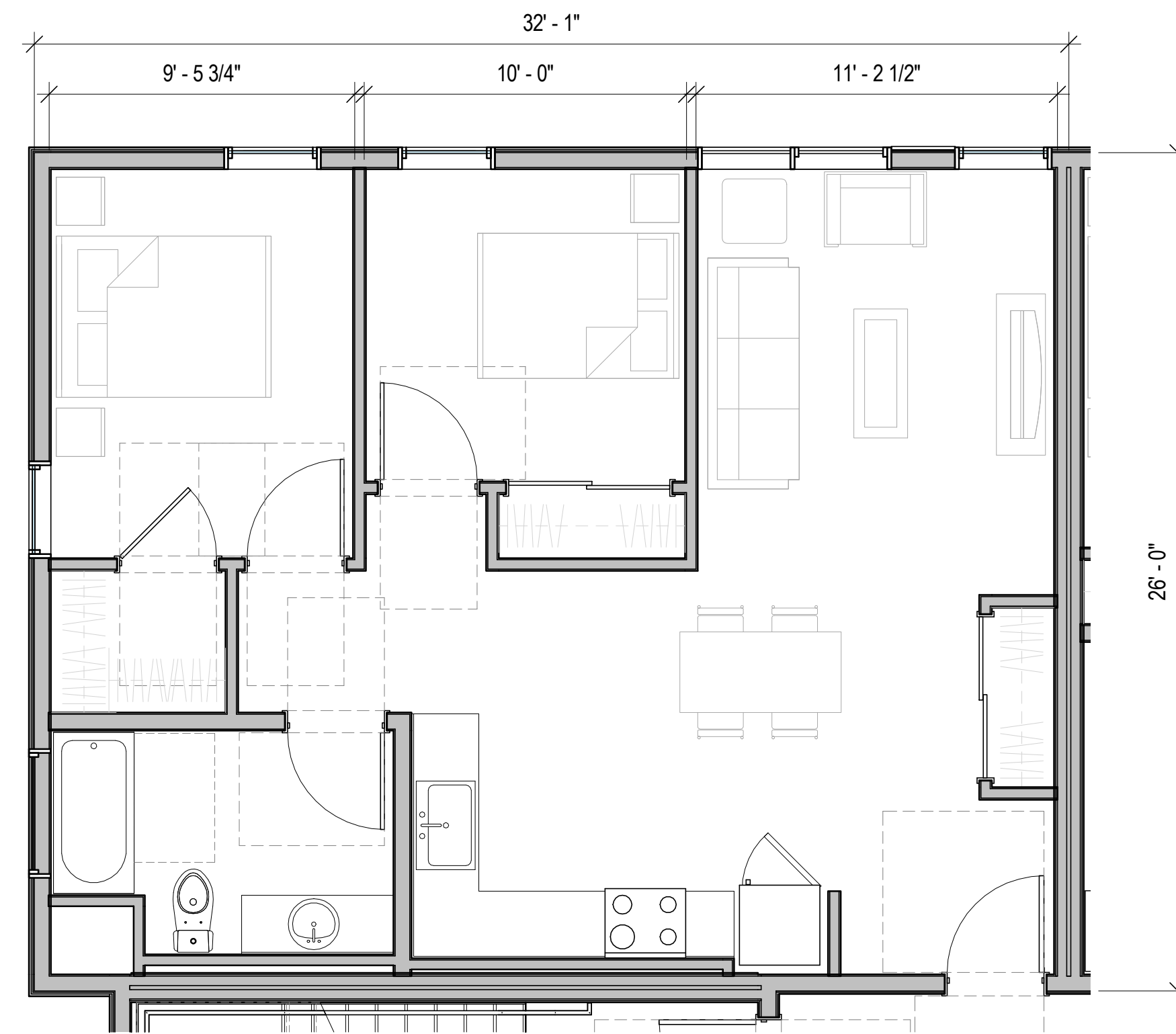
832 NET SF B1 - 2 BEDROOM ②
1/4" = 1'-0"



1092 NET SF C1 - 3 BEDROOM ③
1/4" = 1'-0"



551 NET SF A2 - 1 BEDROOM ④
1/4" = 1'-0"



834 NET SF B2 - 2 BEDROOM ⑤
1/4" = 1'-0"

